



File: 4605

October 15, 1996

Mr. Alexander C. Bunbury  
Box 302  
Whistler BC V0N 1B0

Dear Mr. Bunbury

**Re: 2501 Gondola Way - Building Permit No. 87-2000**

---

As there has been no response to our previous correspondence your file is being microfiched. This does not constitute acceptance of the outstanding deficiencies or abandonment of the process. The municipality intends to continue to pursue completion of your permit. Unless the outstanding issues are satisfactorily remedied within 60 days the municipality may elect to register a 750.1 notice on title against your property.

If you wish to proceed with inspections within the allotted time period please contact the Building Department.

Please note that failure to obtain an Occupancy Permit within 1 year of the date of this letter may preclude the possibility of one being issued at a later date.

Should you require further information please contact our office.

Sincerely

Monica Gillot  
Building Clerk

cc: Superintendent of Bylaw



November 15, 1993

Mr. Alexander Bunbury  
Box 302  
Whistler, BC  
V0N 1B0

Dear Mr. Bunbury:

**RE: 2501 GONDOLA WAY, WHISTLER, B.C.  
BUILDING PERMIT NO. 2000-87**

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We are writing in reference to our letter of September 17, 1993 concerning the above mentioned building file. We have not yet received a response to our correspondence. The permit process remains incomplete.

Please contact the undersigned if you wish to complete the outstanding requirements and receive an occupancy certificate.

This file will be sent to be microfilmed 30 days from the date of this letter if no communication is received by our office. The status of the permit will remain incomplete. Once your file has been microfilmed further activity may require the documents to be reprinted at your expense.

Yours truly,

Karen Clattenburg  
Building Clerk I



September 17, 1993

Mr. Alexander Bunbury  
Box 302  
Whistler, BC  
V0N 1B0

Dear Mr. Bunbury:

**RE: 2501 GONDOLA WAY, WHISTLER, B.C.  
BUILDING PERMIT NO. 2000-87**

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With regard to the above mentioned building file, it has come to our attention that the permit process is incomplete.

Please contact our office to advise us if you wish to complete the outstanding issues required to receive an occupancy certificate; or if you have any questions regarding this property. There is a refundable damage deposit of \$200.00 which will be released once building department concerns have been addressed.

Thank you for your cooperation in this matter.

Yours truly,

Karen Clattenburg  
Building Clerk I

# INSPECTION REPORT



RESORT MUNICIPALITY  
OF WHISTLER

P.O. BOX 35, WHISTLER, B.C.  
V0N 1B0

Whistler 932-5535

PERMIT NO. 2000

MON.	TUES.	WED.	THURS.	FRI.	SAT.	SUN.
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
				<input type="checkbox"/> A.M.	<input type="checkbox"/> P.M.	

INSPECTION DATE Nov. 13/87

ADDRESS 2505 GONDOLA WAY

CONTRACTOR \_\_\_\_\_

OWNER BUNBURY

- |     |                                     |                            |  |                                 |          |
|-----|-------------------------------------|----------------------------|--|---------------------------------|----------|
| 1.  | <input type="checkbox"/>            | PARKING FOR _____ VEHICLES | RE-INSPECTION <input type="checkbox"/> | RE-FEE <input type="checkbox"/> | \$ _____ |
| 2.  | <input type="checkbox"/>            | SEWER LINE                 | _____                                  |                                 |          |
| 3.  | <input type="checkbox"/>            | WATER LINE                 | <u>-INSTALL ATTIC RADIATION</u>        |                                 |          |
| 4.  | <input type="checkbox"/>            | EXCAVATION                 | <u>SHIELDED</u>                        |                                 |          |
| 5.  | <input type="checkbox"/>            | FORMS                      | _____                                  |                                 |          |
| 6.  | <input type="checkbox"/>            | DAMP/PROOF DRAIN TILE      | <u>- FIVE ONLY INSTALLED</u>           |                                 |          |
| 7.  | <input type="checkbox"/>            | PLUMBING UNDERGROUND       | <u>IN UPPER FLOOR</u>                  |                                 |          |
| 8.  | <input type="checkbox"/>            | SLAB PREPARATION           | _____                                  |                                 |          |
| 9.  | <input type="checkbox"/>            | PLUMBING ROUGH-IN          | _____                                  |                                 |          |
| 10. | <input checked="" type="checkbox"/> | FIREPLACE CHIMNEY ROUGH-IN | _____                                  |                                 |          |
| 11. | <input type="checkbox"/>            | BACK FILL                  | _____                                  |                                 |          |
| 12. | <input type="checkbox"/>            | GAS/OIL                    | _____                                  |                                 |          |
| 13. | <input type="checkbox"/>            | DESIGN REVIEW              | _____                                  |                                 |          |
| 14. | <input type="checkbox"/>            | FRAMING                    | _____                                  |                                 |          |
| 15. | <input type="checkbox"/>            | INSULATION VAPOUR BARRIER  | _____                                  |                                 |          |
| 16. | <input type="checkbox"/>            | PLUMBING - FINAL           | _____                                  |                                 |          |
| 17. | <input type="checkbox"/>            | FIREPLACE - FINAL          | _____                                  |                                 |          |
| 18. | <input type="checkbox"/>            | OCCUPANCY - FINAL          | _____                                  |                                 |          |
| 19. | <input type="checkbox"/>            | SITE CLEAN - UP            | _____                                  |                                 |          |
| 20. | <input type="checkbox"/>            | PUBLIC WORKS FINAL         | _____                                  |                                 |          |

ACCEPT

REJECT

NOT COMPLETE

13 NOV 87

DATE

M. J. [Signature]

INSPECTOR

# INSPECTION REPORT



RESORT MUNICIPALITY  
OF WHISTLER

P.O. BOX 35, WHISTLER, B.C.  
V0N 1B0

Whistler 932-5535

PERMIT NO. 2000

MON. TUES. WED. THURS. FRI. SAT. SUN.  
        
 A.M.  P.M.

INSPECTION DATE Nov 3/87

ADDRESS 2501 Gondola Way

CONTRACTOR \_\_\_\_\_

OWNER Bunbury

- |     |                                     |                            |   |
|-----|-------------------------------------|----------------------------|---|
| 1.  | <input type="checkbox"/>            | PARKING FOR _____ VEHICLES | RE-INSPECTION <input type="checkbox"/> RE-FEE <input type="checkbox"/> \$ _____                   |
| 2.  | <input type="checkbox"/>            | SEWER LINE                 | - ALL EXPOSED PLUMBING TO PROTECTED WITH TAR  |
| 3.  | <input type="checkbox"/>            | WATER LINE                 | ADDITION OF INSULATION & HEAT. TANK TANK  |
| 4.  | <input type="checkbox"/>            | EXCAVATION                 | PLASTIC PIPE CANNOT BE HEAT TRACED UNLESS HEAT TRACER IS APPROVED FOR CONTACT WITH COMB-USTIBLES. |
| 5.  | <input type="checkbox"/>            | FORMS                      | - CONNECTION TO PVC SEWER PIPE TO BE MADE 1 M BEYOND FOUNDATION & 2 FT UNDERGROUND                |
| 6.  | <input type="checkbox"/>            | DAMP-PROOF DRAIN TILE      | - ENGINEER'S INSPECTION REQUIRED BEFORE FRAMING   |
| 7.  | <input type="checkbox"/>            | PLUMBING UNDERGROUND       | - FINE BLOCK DROP CEILINGS  |
| 8.  | <input type="checkbox"/>            | SLAB PREPARATION           |   |
| 9.  | <input checked="" type="checkbox"/> | PLUMBING ROUGH-IN          |   |
| 10. | <input type="checkbox"/>            | FIREPLACE CHIMNEY ROUGH-IN |   |
| 11. | <input type="checkbox"/>            | BACK FILL                  |   |
| 12. | <input type="checkbox"/>            | GAS/OIL                    |   |
| 13. | <input type="checkbox"/>            | DESIGN REVIEW              |   |
| 14. | <input checked="" type="checkbox"/> | FRAMING                    |   |
| 15. | <input type="checkbox"/>            | INSULATION VAPOUR BARRIER  |   |
| 16. | <input type="checkbox"/>            | PLUMBING - FINAL           |   |
| 17. | <input type="checkbox"/>            | FIREPLACE - FINAL          |   |
| 18. | <input type="checkbox"/>            | OCCUPANCY - FINAL          |   |
| 19. | <input type="checkbox"/>            | SITE CLEAN - UP            |   |
| 20. | <input type="checkbox"/>            | PUBLIC WORKS FINAL         |   |

ACCEPT

REJECT

NOT COMPLETE

Nov 03/87

DATE

[Signature]

INSPECTOR

# INSPECTION REPORT



## RESORT MUNICIPALITY OF WHISTLER

P.O. BOX 35, WHISTLER, B.C.  
V0N 1B0

**Whistler 932-5535**

PERMIT NO. 2000

MON.  TUES.  WED.  THURS.  FRI.  SAT.  SUN.

late  A.M.  P.M.  
INSPECTION DATE Oct 26/87

ADDRESS 2501 Gondola Way

CONTRACTOR \_\_\_\_\_

OWNER Banbury

1.  PARKING FOR \_\_\_\_\_ VEHICLES RE-INSPECTION  RE-FEE  \$ \_\_\_\_\_

2.  SEWER LINE \_\_\_\_\_

3.  WATER LINE \_\_\_\_\_

4.  EXCAVATION \_\_\_\_\_

5.  FORMS \_\_\_\_\_

6.  DAMPPROOF DRAIN TILE \_\_\_\_\_

7.  PLUMBING UNDERGROUND \_\_\_\_\_

8.  SLAB PREPARATION \_\_\_\_\_

9.  PLUMBING ROUGH-IN \_\_\_\_\_

10.  FIREPLACE CHIMNEY ROUGH-IN \_\_\_\_\_

11.  BACK FILL \_\_\_\_\_

12.  GAS/OIL \_\_\_\_\_

13.  DESIGN REVIEW \_\_\_\_\_

14.  FRAMING \_\_\_\_\_

15.  INSULATION VAPOUR BARRIER \_\_\_\_\_

16.  PLUMBING - FINAL \_\_\_\_\_

17.  FIREPLACE - FINAL \_\_\_\_\_

18.  OCCUPANCY - FINAL \_\_\_\_\_

19.  SITE CLEAN - UP \_\_\_\_\_

20.  PUBLIC WORKS FINAL \_\_\_\_\_

ACCEPT  REJECT  NOT COMPLETE

Oct 26/87 DATE Handell Capunit INSPECTOR

# INSPECTION REPORT



RESORT MUNICIPALITY  
OF WHISTLER

P.O. BOX 35, WHISTLER, B.C.  
V0N 1B0

**Whistler 932-5535**

PERMIT NO. 2000

MON. TUES. WED. THURS. FRI. SAT. SUN.  
        
 A.M.  P.M.

INSPECTION DATE Nov 10/87

ADDRESS 250 1/2 Gondola Way

CONTRACTOR \_\_\_\_\_

OWNER Bunbury

- |  |   |
|--|---|
| <ul style="list-style-type: none"> <li>1. <input type="checkbox"/> PARKING FOR _____ VEHICLES</li> <li>2. <input type="checkbox"/> SEWER LINE</li> <li>3. <input type="checkbox"/> WATER LINE</li> <li>4. <input type="checkbox"/> EXCAVATION</li> <li>5. <input type="checkbox"/> FORMS</li> <li>6. <input type="checkbox"/> DAMPPROOF DRAIN TILE</li> <li>7. <input type="checkbox"/> PLUMBING UNDERGROUND</li> <li>8. <input type="checkbox"/> SLAB PREPARATION</li> <li>9. <input type="checkbox"/> PLUMBING ROUGH-IN</li> <li>10. <input type="checkbox"/> FIREPLACE CHIMNEY ROUGH-IN</li> <li>11. <input type="checkbox"/> BACK FILL</li> <li>12. <input type="checkbox"/> GAS/OIL</li> <li>13. <input type="checkbox"/> DESIGN REVIEW</li> <li>14. <input type="checkbox"/> FRAMING</li> <li>15. <input checked="" type="checkbox"/> INSULATION VAPOUR BARRIER</li> <li>16. <input type="checkbox"/> PLUMBING - FINAL</li> <li>17. <input type="checkbox"/> FIREPLACE - FINAL</li> <li>18. <input type="checkbox"/> OCCUPANCY - FINAL</li> <li>19. <input type="checkbox"/> SITE CLEAN - UP</li> <li>20. <input type="checkbox"/> PUBLIC WORKS FINAL</li> </ul> | <p>RE-INSPECTION <input type="checkbox"/> RE-FEE <input type="checkbox"/> \$ _____</p> <p><u>2"x6" wall above</u><br/> <u>left requires to ply</u><br/> <u>according to P. Eng</u><br/> <u>means re trim above</u><br/> <u>partition.</u><br/> <u>- foundation dressing</u><br/> <u>not complete.</u><br/> <u>- foundation joint</u><br/> <u>loads not complete.</u><br/> <u>- copper water</u><br/> <u>supply in crawl space</u><br/> <u>requires insulation and</u><br/> <u>bleed (protection against</u><br/> <u>freezing.</u><br/> <u>Insulation + vapor</u><br/> <u>barrier D.K. to cover.</u></p> |
|--|---|

ACCEPT  REJECT  NOT COMPLETE

Nov. 10/87  
DATE

Ronald Enguit  
INSPECTOR



Box 35, Whistler, B.C.  
V0N 1B0  
932-5535 688-6018

2501

# PERMIT

TO CONSTRUCT, ALTER  
REPAIR, DEMOLISH OR MOVE  
A BUILDING OR STRUCTURE

PERMIT NUMBER **B 2000 - 87**

CIVIC ADDRESS: 2505 Gondola Way DATE: Oct 6/87

LOT	BLOCK	D.L.	PLAN	ZONING	CLASS OF WORK
		2291	19602	RR1 Land Use Cont.	Renovation

OWNER: Bunbury, Paul A.T. ADDRESS: 6392 Easy St. Box 738, Whistler, B.C. W.932-3770 H.932-3253  
ARCHITECT: \_\_\_\_\_

ENGINEER: J. Paine P.Eng.

CONTRACTOR: Owner

LOT AREA	GROSS BLDG. AREA	USE	PROOF OF OWNERSHIP
10.42 acres	1508 s.ft.	residential	009802-145

SPECIAL DETAILS: PLUMBING AND WIRING TO BE IN PLACE BY FRAME INSPECTION.

\*\*\*APPROVED ~~RXX~~ PLANS MUST BE ON SITE FOR ALL INSPECTIONS\*\*\*

It is understood that this Permit will be subject to full compliance with the Municipality's Building Bylaw and all other Bylaws and that the Municipality has not checked the plans in detail for conformance with the National Building Code; and it is the duty of the owner to make enquiries as to such matters before commencing the works.

In consideration of the granting of the Permit, I hereby agree to indemnify and release the Resort Municipality of Whistler against all claims, liabilities, judgements, costs and expenses of whatsoever kind, which may in any way accrue against the said Municipality in consequence of, and incidental to, the granting of this Permit, if issued. I further agree to pay the cost of repairing any damage to public works by reason of the building operations in respect of which this Permit is applied for.

VALUE OF WORK	RENTAL SUITE	NO. OF UNITS	NET COMM. AREA
30,000.	nc	1	

*Paul Bunbury*  
SIGNATURE OF OWNER/APPLICANT

*W. Paine*  
BUILDING INSPECTOR

FEES	AMOUNT	DATE PAID
BUILDING PERMIT	220	
PLUMBING PERMIT	135	
SEWER CAPITAL COST		
SEWER CONNECTION FEE		
WATER CAPITAL COST		
WATER CONNECTION FEE		
OPEN SPACE DEV. COST CHARGE		
DAMAGE DEPOSIT	200	
TOTAL	555	
LESS DEPOSIT	25	
BALANCE	\$530.00	

PERMIT FILE





Box 35, Whistler, B.C.  
V0N 1B0

2501 932-5535 688-6018

# PERMIT

## TO CONSTRUCT, ALTER REPAIR, DEMOLISH OR MOVE A BUILDING OR STRUCTURE

PERMIT NUMBER **B 2000 - 87**

CIVIC ADDRESS

2505 Gondola Way

DATE

Oct 6/87

LOT	BLOCK	D.L.	PLAN	ZONING	CLASS OF WORK
		2291	19602	RRI Land Use Cont.	Renovation
OWNER		ADDRESS			PHONE
Bunbury, Paul A.T.		6392 Easy St. Box 738, Whistler, B.C.			W.932-3770 H.932-3253
ARCHITECT					

ENGINEER  
J. Paine P.Eng.

CONTRACTOR  
Owner

LOT AREA	GROSS BLDG. AREA	USE	PROOF OF OWNERSHIP
10.42 acres	1508 s.ft.	residential	009802-145

SPECIAL DETAILS

PLUMBING AND WIRING TO BE IN PLACE BY FRAME INSPECTION.

\*\*\*APPROVED RRE PLANS MUST BE ON SITE FOR ALL INSPECTIONS\*\*\*

### RECORD CARD

It is understood that this Permit will be subject to full compliance with the Municipality's Building Bylaw and all other Bylaws and that the Municipality has not checked the plans in detail for conformance with the National Building Code; and it is the duty of the owner to make enquiries as to such matters before commencing the works.

In consideration of the granting of the Permit, I hereby agree to indemnify and release the Resort Municipality of Whistler against all claims, liabilities, judgements, costs and expenses of whatsoever kind, which may in any way accrue against the said Municipality in consequence of, and incidental to, the granting of this Permit, if issued. I further agree to pay the cost of repairing any damage to public works by reason of the building operations in respect of which this Permit is applied for.

VALUE OF WORK	RENTAL SUITE	NO. OF UNITS	NET COMM. AREA
30,000.	no	1	

SIGNATURE OF OWNER/APPLICANT



RESORT MUNICIPALITY OF WHISTLER  
 P.O. BOX 35, WHISTLER, B.C. V0N 1B0

NOTES

INSPECTION

DATE

INSPECTOR

INSPECTION	DATE	INSPECTOR
1. PARKING FOR ..... VEHICLES		
2. SEWER LINE	Oct 26/87	H.E
3. WATER LINE	Oct 26/87	H.E
4. EXCAVATION		
5. FORMS		
6. DAMPPROOF / DRAIN TILE		
7. PLUMBING UNDERGROUND		
8. SLAB PREPARATION		
9. PLUMBING ROUGH-IN		
10. CHIMNEY / FIREPLACE ROUGH-IN		
11. BACK FILL		
12. GAS / OIL		
13. DESIGN REVIEW		
14. FRAMING	Nov. 10/87	H.E
15. INSULATION / VAPOUR BARRIER	Nov. 10/87	H.E.
16. PLUMBING - FINAL		
17. FIREPLACE - FINAL	Dec 4/87	P.H.S.
18. DESIGN REVIEW		
19. OCCUPANCY - FINAL		
20. SITE CLEAN-UP		
21. _____		

# 2000-87  
 RENO

OK TO COVER, SEE REPORT.



RESORT MUNICIPALITY OF WHISTLER  
 4381 BLACKCOMB WA  
 P.O. BOX 35, B.C. V0N 1...  
 TELEPHONE 932-5535  
 VANCOUVER LINE DIRECT 688-6018

Thursdays

INSPECTION REPORT

PERMIT: 2000-87  
 DATE: Dec. 8/88

1100 - 4 pm 3:30  
 Whitebar  
 SW

2501

ADDRESS: 2505 Gondola Way - Banbury - 932-3253

JACKIE

INSPECTION: Fireplace Final

Call to meet.

Note: Leave air space at top & bottom of brick when installed

12/08/88. ~~Accept~~

K. S. [Signature]

DATE

INSPECTOR

SNOW COUNTRY CONSULTANTS LTD.  
BOX 502  
WHISTLER, BC V0N 1B0  
Phone 832-3874

LETTER  
IN REFERENCE TO:

Nov 06/87

3770

AIRMAIL  FIRST CLASS MAIL  INTER-OFFICE

FOR

Burnaby /

RE: RENOVATIONS TO JACQUEE & PAUL BURNABY

HOW TO USE THIS

DAY/TIMER  
*Time-Saver* LETTER TO SAVE TIME.

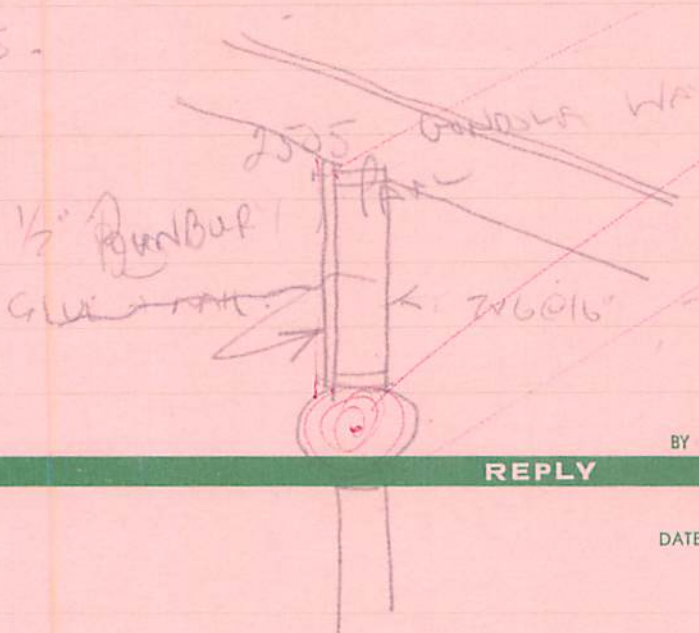
Type or write your reply in the space below. Then mail the white copy to us and keep the pink copy for your files. You'll save time and effort, and we'll have your answer much faster! Thank you.

MESSAGE

DATE:

Nov. 4/87

① THERE IS A 2x6 STUD WALL OVER THE EXISTING LOG @ THE DORMER. THE DRAWING SHOWS A 14" LOG. SOLUTION: SHEATH THE STUD WALL OVER ON THE LEFT SIDE, WITH 1/2" PLYWOOD GLUED AND NAILS SCREWED TO THE STUDS. ALL VERTICAL JOINTS ARE TO LINE UP WITH A STUD. NAIL @ 4" @ ALL EDGES.



2000-87  
RE: JAC  
MEM IN FILE  
2000-87

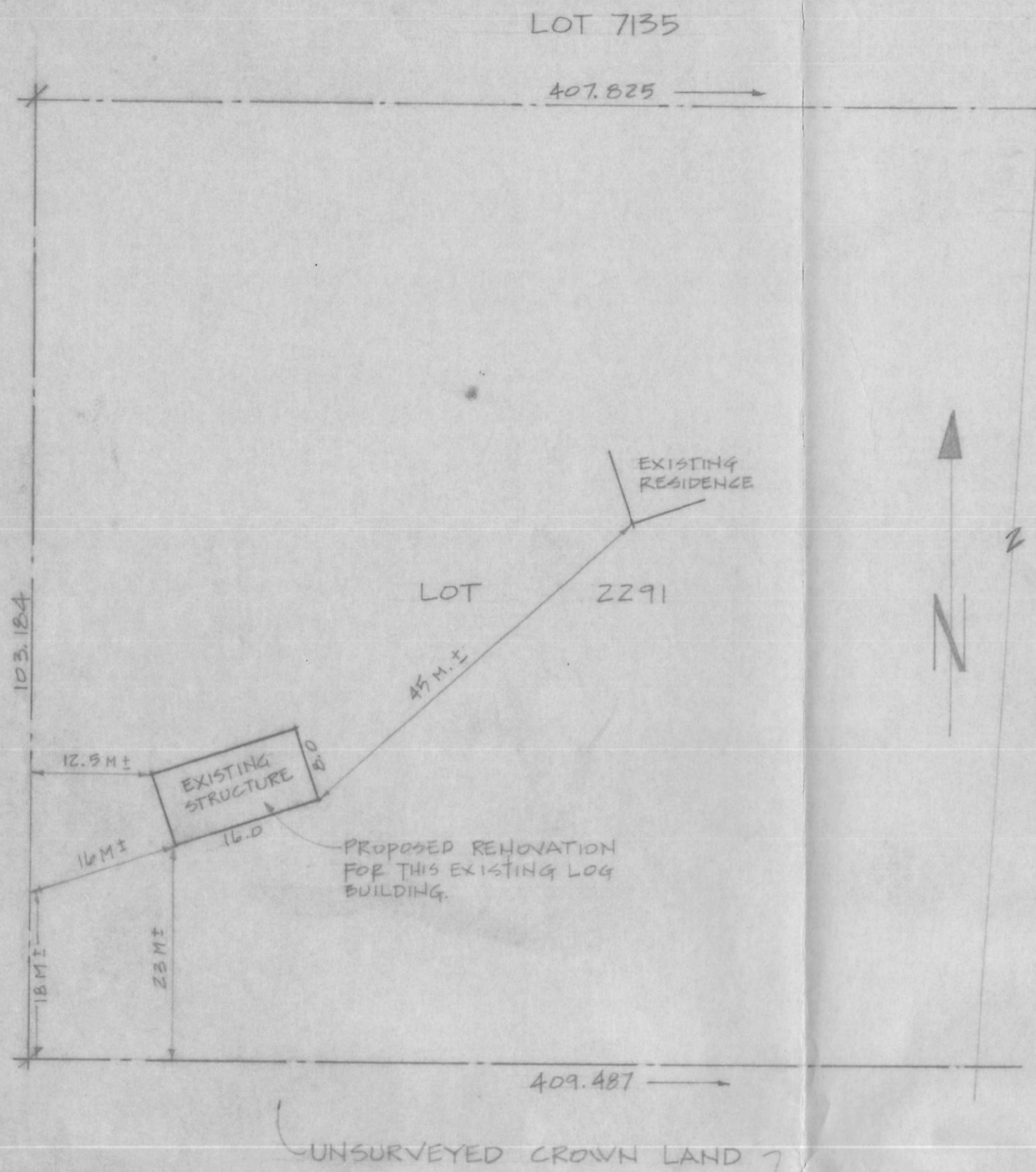
REPLY

BY

DATE:

② FOUNDATIONS WORK STILL TO BE DONE.

BY



**SITE PLAN**  
1:500

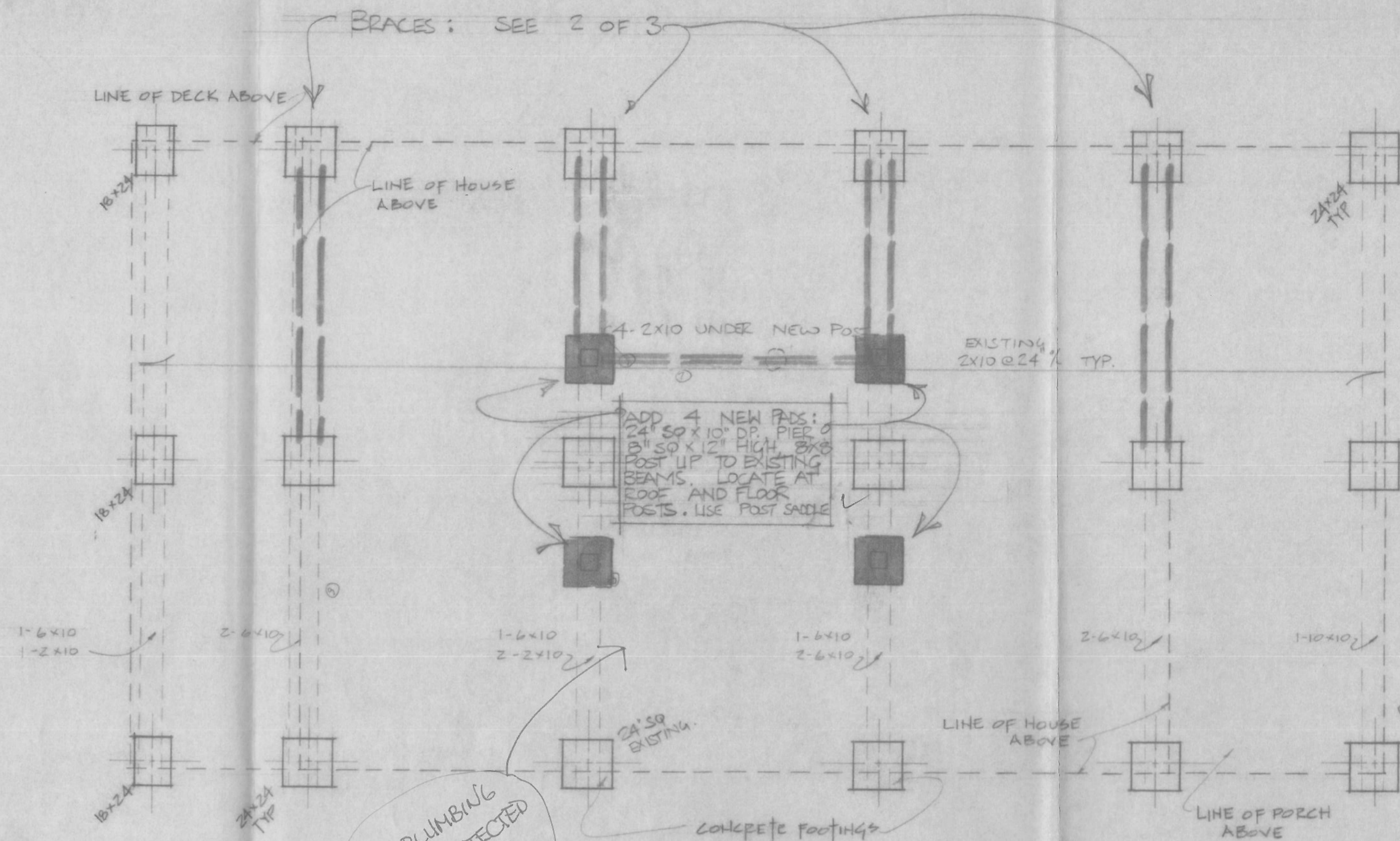
**HOUSE AREA:** MAIN FLOOR = 936 SQ. FT. SECOND FLOOR = APPROX. 572 SQ. FT.  
TOTAL AREA = 1508 SQ. FT.

**GENERAL NOTES**

CONTRACTORS TO CHECK ALL DIMENSIONS ON SITE BEFORE PROCEEDING WORK. REPORT ANY DISCREPANCIES TO DESIGNER.

**RENOVATION OF BUNBURY RESIDENCE**

NEW PARTITIONS THROUGHOUT.  
NEW DOUBLE GLAZED WINDOWS TO REPLACE EXISTING.  
NEW DOORS AS REQUIRED & TO REPLACE EXISTING.  
ALL NEW ELECTRICAL, HEATING & PLUMBING INSTALLED TO NBC 1980 & MUNICIPAL CODE REQUIREMENTS.



**FOUNDATION PLAN - ALL EXISTING**  
1/4" = 1'-0"

ALL PLUMBING TO BE PROTECTED BY INSULATION AND HEAT

**SURVEY REQUIRED**  
 PRIOR TO FORMS INSP.  
 AFTER CONCRETE POURED  
 AFTER R.W.F. CONSTRUCTED  
 FLOOD PLAIN ELEV. REQ'D

**WARNING**

**IMPORTANT**  
THIS PLAN MUST BE ON SITE AT TIME OF INSPECTIONS

**PLANS ACCEPTED**  
DATE: Oct 6/97  
PERMIT No. 2000-57  
2505 Gondola Way  
ADDRESS  
[Signature]  
BUILDING INSPECTOR

**2505 GONDOLA WAY**

**PLANS ACCEPTED**

**RECEIVED**  
SEP 17 1987  
[Signature]

THIS SEAL APPLIES TO STRUCTURAL COMPONENTS ONLY

RECEIVED  
SEP 17 1987  
[Signature]

**RENOVATION FOR THE BUNBURY RESIDENCE**  
DATE: JULY 16/87  
SHEET 1 OF 3

3-Aug-87

JONATHAN C. PAINE, P.ENG.

SNOW COUNTRY CONSULTANTS LTD.

SUITE 302 \* BLACKCORN PROFESSIONAL BUILDING \* WHISTLER, CANADA \* (604) 932-2874

**STRUCTURAL SPECIFICATIONS AND NOTES:**

- GENERAL 1.1 ALL WORK TO CONFORM TO PART 9 OF THE NATIONAL BUILDING CODE, LATEST EDITION, ALL LOCAL CODES, AND BYLAWS. THE CONTRACTOR IS TO HAVE IN HIS POSSESSION AND BE FAMILIAR WITH THE NBC "RESIDENTIAL STANDARDS".
- 1.2 THIS BUILDING HAS BEEN DESIGNED FOR THE FOLLOWING DESIGN LOADS:  
GROUND SNOW LOAD 160 PSF (ROOF LOADS TO PART 9 & 4 OF N.B.C.)  
WIND LOAD (1/30 UNFACTORED) 36.9 PSF (EQUIVALENT TO GUSTS OF 90 MPH)  
FLOOR LIVE LOADS 40 PSF UNLESS NOTED OTHERWISE  
ALL OTHER LOADS PART 9 & 4 OF N.B.C.
- 1.3 SITE REVIEWS OF CONSTRUCTION WILL NOT BE PERFORMED BY THE ENGINEER UNLESS SPECIFICALLY RETAINED IN ADVANCE BY THE OWNER. SUCH REVIEWS, IF REQUIRED, MUST START WHEN CONSTRUCTION COMMENCES AND BE ON A REGULAR BASIS. THE CONTRACTOR SHALL GIVE 48 HOURS NOTICE OF ANY SUCH REVIEWS. SUCH REVIEWS WILL BE LIMITED TO ARCHITECTURAL OR STRUCTURAL ITEMS ONLY AND NOT INCLUDE SITE SAFETY, METHODS OF CONSTRUCTION, ELECTRICAL, OR MECHANICAL.
- 1.4 CHANGES AND ANY WORK NOT DONE IN ACCORDANCE WITH THE APPROVED PLANS AND NBC PART 9, ARE THE RESPONSIBILITY OF THOSE MAKING THE CHANGES, AND NOT OF THE ENGINEER.
- 1.5 THESE DRAWINGS HAVE BEEN ASSUMED TO ACCURATELY REFLECT ACTUAL SITE CONDITIONS. THE DESIGN HAS BEEN REVIEWED FOR STRUCTURAL ADEQUACY OF THE MAJOR STRUCTURAL COMPONENTS ONLY.
- 1.6 THIS IS A RENOVATION TO AN EXISTING STRUCTURE. ANY ITEMS FOUND TO DETERIORATED DUE TO ROT, WEATHERING OR OTHERWISE DAMAGED, SHOULD EITHER BE REPLACED OR SHOULD BE REVIEWED FOR STRUCTURAL ADEQUACY. IF DIMENSIONS VARY GREATLY FROM THOSE SHOWN, NOTIFY THE ENGINEER.
- 2.1 NO REVIEW OF SLOPE STABILITY OR GROUND BEARING CONDITIONS HAS BEEN PERFORMED BY THE ENGINEER. SUCH REVIEWS IF REQUIRED, SHOULD BE BY A SOILS ENGINEER. STEEP SLOPES MAY BE PRONE TO SNOW AND EARTH SLIDING AND SLIPPAGE.
- 2.2 FOOTINGS ARE TO BEAR ON NATIVE UNDISTURBED SOIL OR ROCK, FREE OF ALL ORGANIC MATERIAL, AND WITH A FROST PROTECTION OF 24". THE BEARING CAPACITY OF NATIVE SOIL HAS BEEN BASED ON TABLE 9.15.3A OF THE NBC. THE FOOTINGS HAVE BEEN DESIGNED FOR AN ALLOWABLE SOIL BEARING CAPACITY OF 2500 PSF ASSUMING A COMPACT WELL GRADED SAND OR GRAVEL. FOOTINGS ON SOUND ROCK TO BE PLINED WITH 15# x 36" LONG, DRILLED AND GROUTED 12" INTO ROCK AT 6"-0" O/C.
- 3.1 CONCRETE IS TO BE 3000 PSI AT 28 DAYS, TO BE FORMED, PLACED, AND CURED IN ACCORDANCE WITH THE N.B.C. REINFORCING STEEL IS TO BE GRADE 40, MINIMUM YIELD STRENGTH OF 40 KSI. SPECIAL ATTENTION TO THE N.B.C. SHALL BE REQUIRED FOR PLACING AND FINISHING OF CONCRETE AT TEMPERATURES BELOW 5 OR ABOVE 25 C. BARRIUM WITH ASPHALT EMULSION.
- PRESERVED WOOD FOUNDATIONS P.M.F. ARE TO BE CONSTRUCTED IN ACCORDANCE WITH CSA C24-08-M80 AND S406-R OR THE LATEST REVISIONS. THE CONTRACTOR IS TO HAVE IN HIS POSSESSION AND BE FAMILIAR WITH THE CMC DATAFILES "WB-3 AND WB-4". TAKE SPECIAL NOTE OF FASTENERS, ANCHORS, AND FRAMING METHODS. USE ONLY IF INDICATED ON THE DRAWINGS.
- FRAMING 5.1 ALL FRAMING NOT INDICATED ON THE DRAWINGS IS TO MEET THE MINIMUM STANDARDS AS SET OUT IN THE RESIDENTIAL STANDARDS OF THE N.B.C. PAY PARTICULAR ATTENTION TO:
  - NAILING: PER TABLE 23A & 23B
  - DOUBLE JOISTS: UNDER ALL PARALLEL WALLS, ETC. PER SECTION 23-1
  - CROSS-BRIDGING: AT FLOOR AND ROOF JOISTS AT A MAX. OF 6'-11" O/C PER PARAGRAPH 231(5)
  - FIRE STOPPING: PER SECTION 10.0
- 6.2 ALL BEARING POINTS FOR POSTS, BEAMS, AND COLUMNS TO BE CARRIED SOLID AT FULL SIZE TO THE FOUNDATIONS. BLOCK SOLID AT

ALL FLOORS. WHEREVER JOISTS OR BEAMS BUTT INTO SUPPORTING BEAMS, USE JOIST OR BEAM HANGERS.

6.3 ALL HEADERS OF DOUBLE MEMBERS ARE TO BEAR ON 1 CRIPPLE; 3 & 4 BUILT-UP TO BEAR ON 2 CRIPPLES; AND BEAMS ARE TO BEAR ON A POST EITHER SQUARE SOLID TO THE WIDTH OF THE BEAM, OR LAMINATED TO THE FULL BEAM WIDTH. HEADERS ARE TO BE DOUBLE 2x10 UNLESS NOTED OTHERWISE.

6.4 ROOF RAFTERS ARE TO BE NOTCHED (BIRD MOUTHED) TO PROVIDE EVEN BEARING AT SUPPORTS. ALL PRE-MANUFACTURED TRUSSES ARE TO HAVE HOLD DOWN CLIPS EACH END (N.G.A. CONNECTORS RTI) OR APPROVED EQUAL.

6.5 POST AND BEAM CONNECTIONS ARE TO BE CAPABLE OF RESISTING UPLIFT, HORIZONTAL MOVEMENT, AND TWISTING. UNLESS OTHERWISE DETAILED ON THE DRAWINGS USE EITHER A PREMANUFACTURED "SADDLE" OR 2 ANGLES 3"x3"x1/4", 4" LONG WITH 2 - 1/2" LAGS AT EACH LEG, AND WITH A 12"x3"x1/4" STEEL STRAP AT THE TOP WITH 4 - 1/2" LAGS.

6.6 FRAMING MATERIALS:

STUDS	42 DOUGLAS FIR
JOISTS/BUILT UP BEAMS	42 DOUGLAS FIR
TIMBERS AND POSTS	41 DOUGLAS FIR
EXTERIOR WALL SHEATHING	1/2" PLYWOOD
ROOF SHEATHING	SEE SECTION
LOGS	SPRUCE, PINE, FIR

6.7 DIAGONAL BRACING: UNLESS SPECIFICALLY NOTED, USE PLYWOOD SHEATHING AT ALL EXTERIOR WALLS. DIAGONAL BRACING WILL ONLY BE ACCEPTED IF DETAILED ON THE DRAWINGS.

VENTING CROSS VENTILATION TO BE SUPPLIED AT ALL ROOFS AND DECKS OVER LIVING AREA AS PER 198 OF RESIDENTIAL STANDARDS.

CHIMNEYS & FIREPLACES LIMIT MASONRY FACINGS TO THOSE SHOWN ON THE DRAWINGS. NO MASONRY SHALL BEAR ON WOOD EXCEPT VENEER NOT OVER 2" THICK APPLIED TO PLYWOOD SHEATHING (MAX 0' HIGH), OR VENEER NOT OVER 4" THICK TO A MAX. OF 4'-0" HIGH. FOR ANY OTHER SITUATIONS, CONSULT THE ENGINEER.

A CONSTRUCTION JOINT ALLOWING FOR DIFFERENTIAL MOVEMENT MUST BE INSTALLED AT ALL INTERFACES BETWEEN MASONRY AND ADJACENT WOOD STRUCTURE, AND BETWEEN MASONRY SUPPORTED ON WOOD AND MASONRY NOT SUPPORTED ON WOOD.

MASONRY FIREPLACES AND CHIMNEYS DO NOT FALL UNDER THIS STRUCTURAL REVIEW, AND ARE THE RESPONSIBILITY OF THE MASON.

SNOW DUMPING DECKS EXPOSED TO SNOW DUMPING FROM ROOFS ARE NOT DESIGNED FOR IMPACT LOADS, AND ALSO PRESENT A DANGER TO THE OCCUPANTS, AS WELL AS A MAINTENANCE PROBLEM. DOORS AND ENTRANCES LOCATED UNDER SNOW SHED AREAS CAN BE DEADLY.

DIVERTERS AND STOPS SNOW DIVERTERS PROTECTING THE FULL WIDTH ARE REQUIRED AT ALL CHIMNEYS IN THE PATH OF SLIDING SNOW. SNOW STOPS, IF USED, MUST BE DESIGNED TO RETAIN A WEDGE OF SNOW EXTENDING BACK AT 45 DEGREES EACH SIDE, AND THE FULL DEPTH OF THE SNOW PACK. SNOW DIVERTERS AND STOPS MUST BE FRAMED OR FASTENED DIRECTLY INTO THE ROOF, NOT ATTACHED ON TOP OF THE ROOF STRAPPING. FLASH AS PART OF THE ROOF.

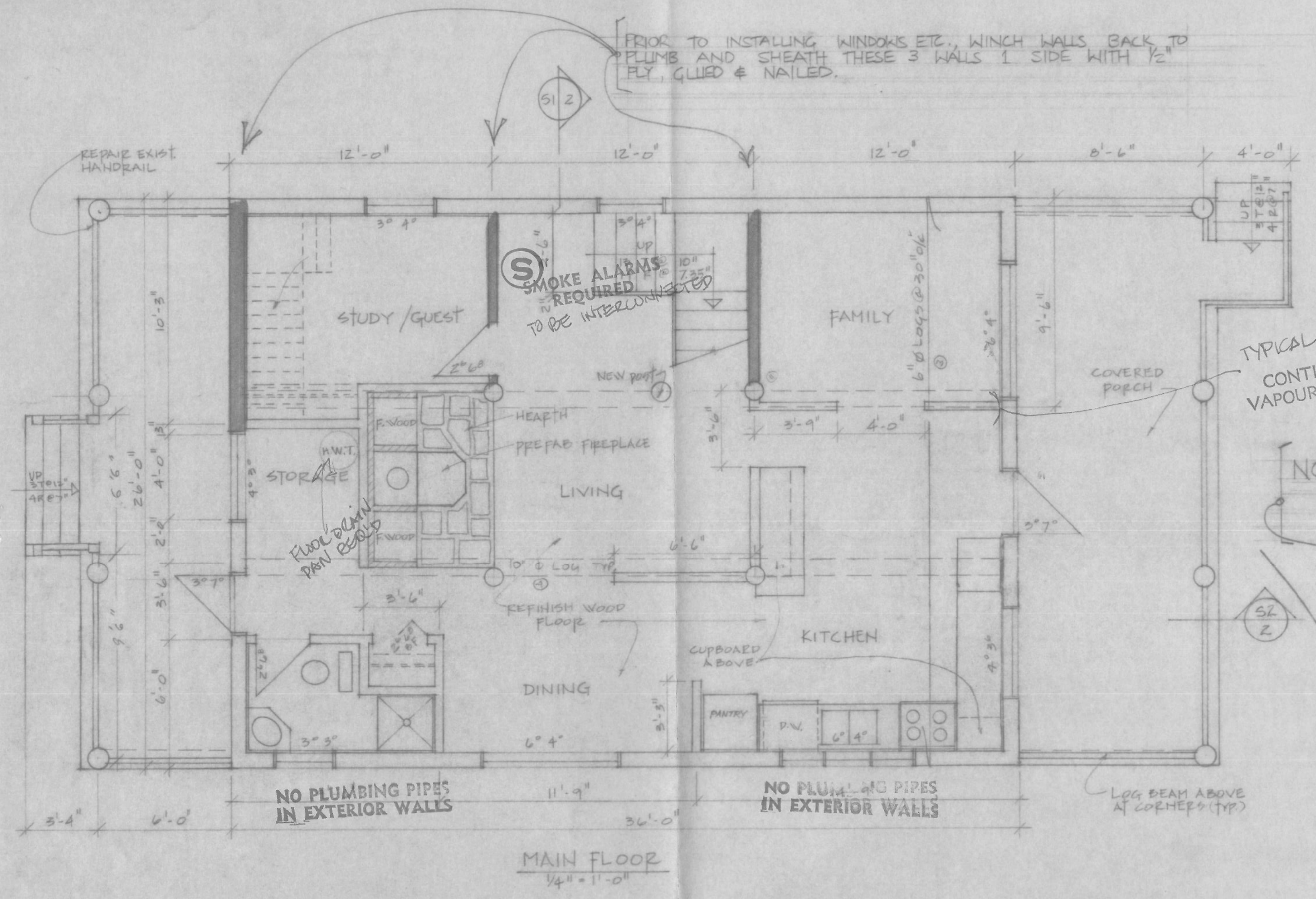
STAIRS RAILINGS AND GUARDS CONFORM EXACTLY TO RESIDENTIAL STANDARDS SECTION 8 FOR STAIRS, RAILINGS, HANDRAILS, AND GUARDS.

GUARDS AND RAILINGS MUST BE ATTACHED TO THE STRUCTURE SO THAT THEY ARE CAPABLE OF SUPPORTING THE FOLLOWING LOADS APPLIED HORIZONTALLY AGAINST THEM:

- 1) AT EXTERIOR BALCONIES AND DECKS: A LOAD OF 40 POUNDS A LINEAR FOOT APPLIED ALONG THE ENTIRE LENGTH APPLIED SIMULTANEOUSLY WITH A 200 POUND THRUST APPLIED AT ANY ONE POINT.
- 2) AT EXITS AND STAIRS: A LOAD OF 200 POUNDS PER LINEAR FOOT APPLIED ALONG THE ENTIRE LENGTH OF THE GUARD OR RAILING.

(# BT70) S.C.C.

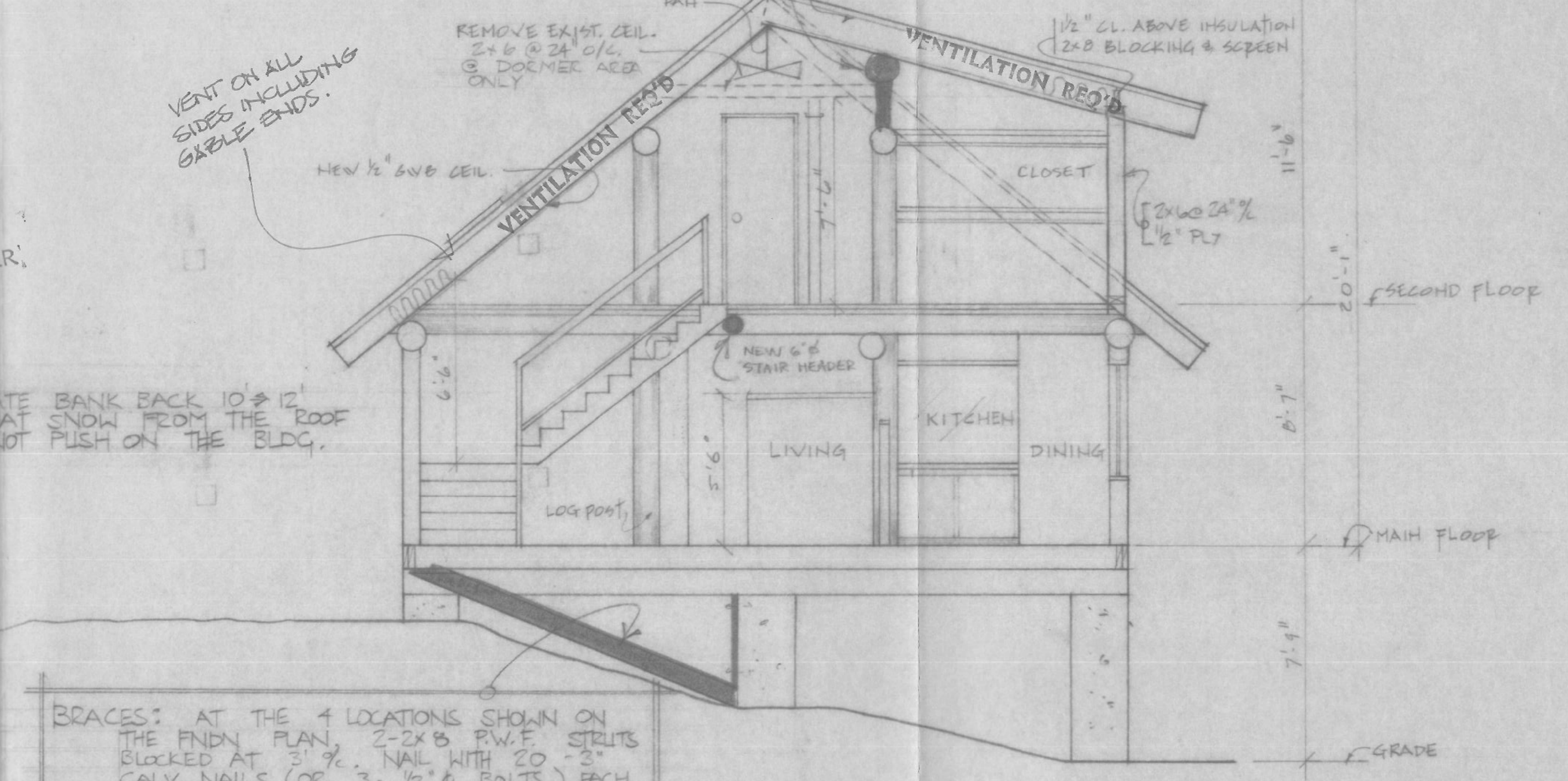
PRIOR TO INSTALLING WINDOWS ETC., WINCH WALLS BACK TO PLUMB AND SHEATH THESE 3 WALLS 1 SIDE WITH 1/2" PLY, GLUED & NAILED.



MAIN FLOOR  
1/4" = 1'-0"

NEW 1/2" LOG ON 4-2x6 POST  
EA. END ONTO EXIST. POST.

VENT ON ALL SIDES INCLUDING GABLE ENDS.

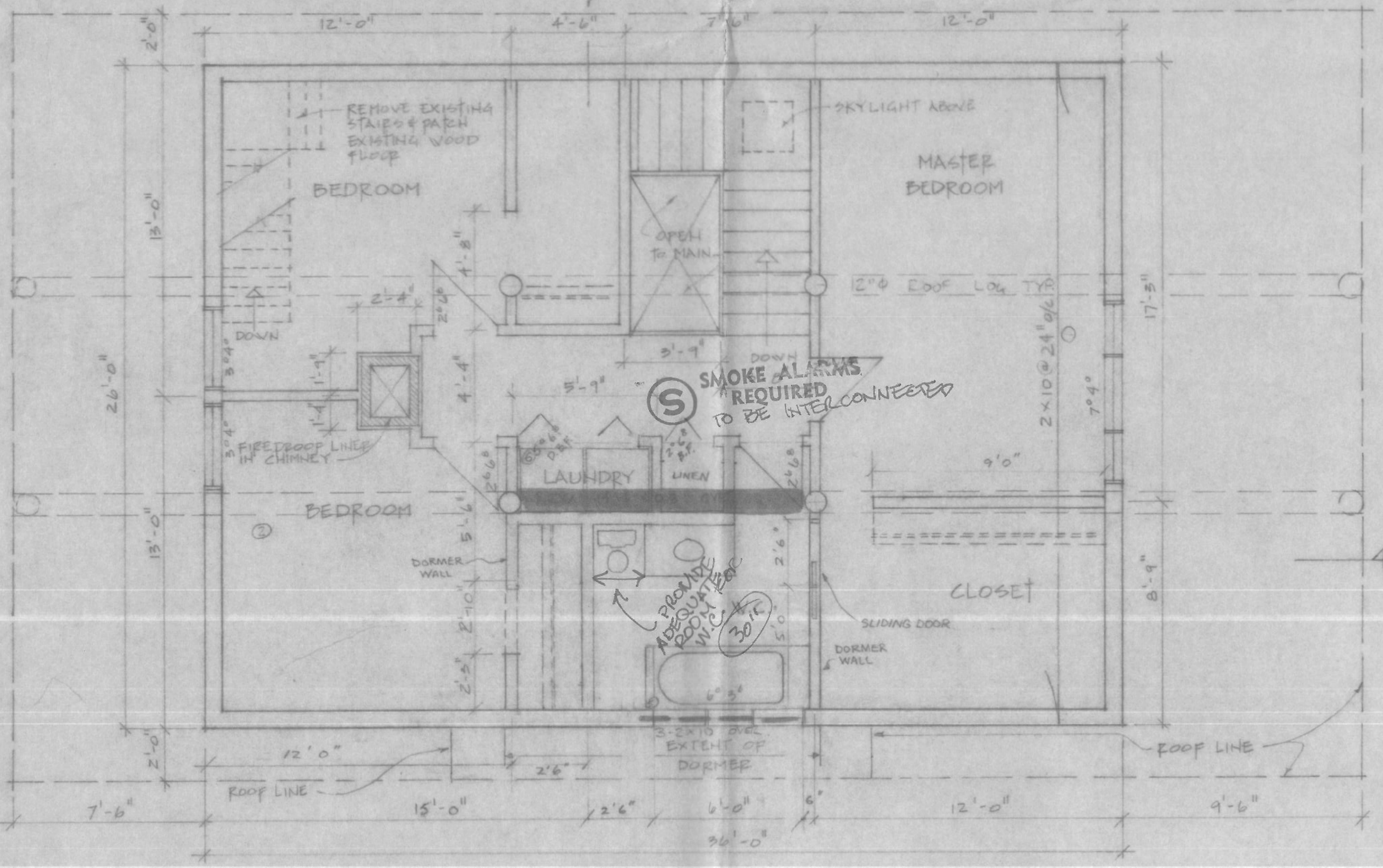


S1 SECTION  
1/4" = 1'-0"

NOTE:  
EXCAVATE BANK BACK 10" & 12" SO THAT SNOW FROM THE ROOF WILL NOT PUSH ON THE BLDG.

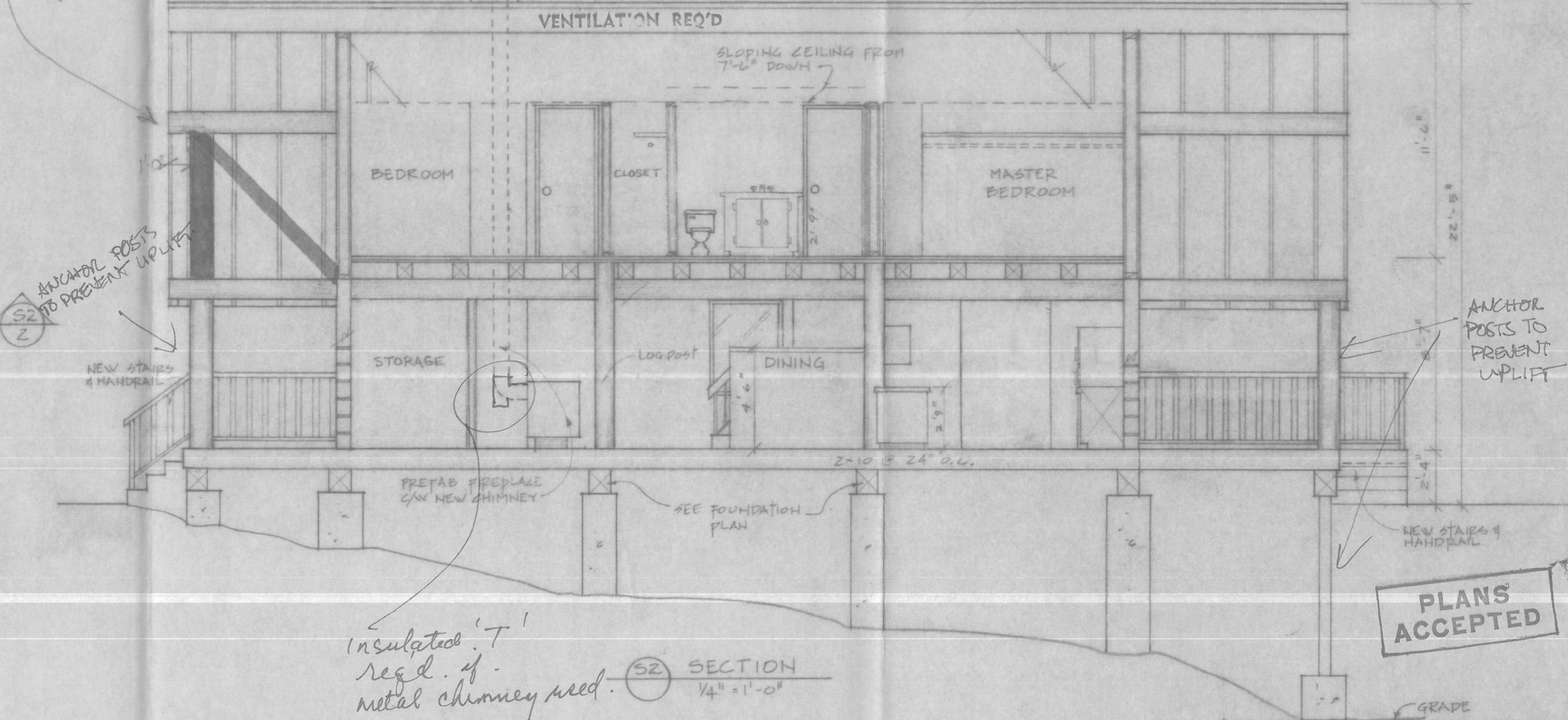
BRACES: AT THE 4 LOCATIONS SHOWN ON THE FNDN PLAN, 2-2x8 P.W.F. STRUTS BLOCKED AT 3'-9", NAIL WITH 20-3" CALY. NAILS (OR 3-1/2" BOLTS) EACH SIDE AT THE TOP. WEDGE TIGHT AT THE BOTTOM (BLOCK & BOLT AS SHOWN).

# 2505 GONDOLA WAY



SECOND FLOOR  
1/4" = 1'-0"

SUPPORT EXIST. LOOKOUTS WITH 6"Ø DIAGONAL BRACE BACK TO FLOOR SYSTEM. 2-1/2" Ø LOGS END 2'.

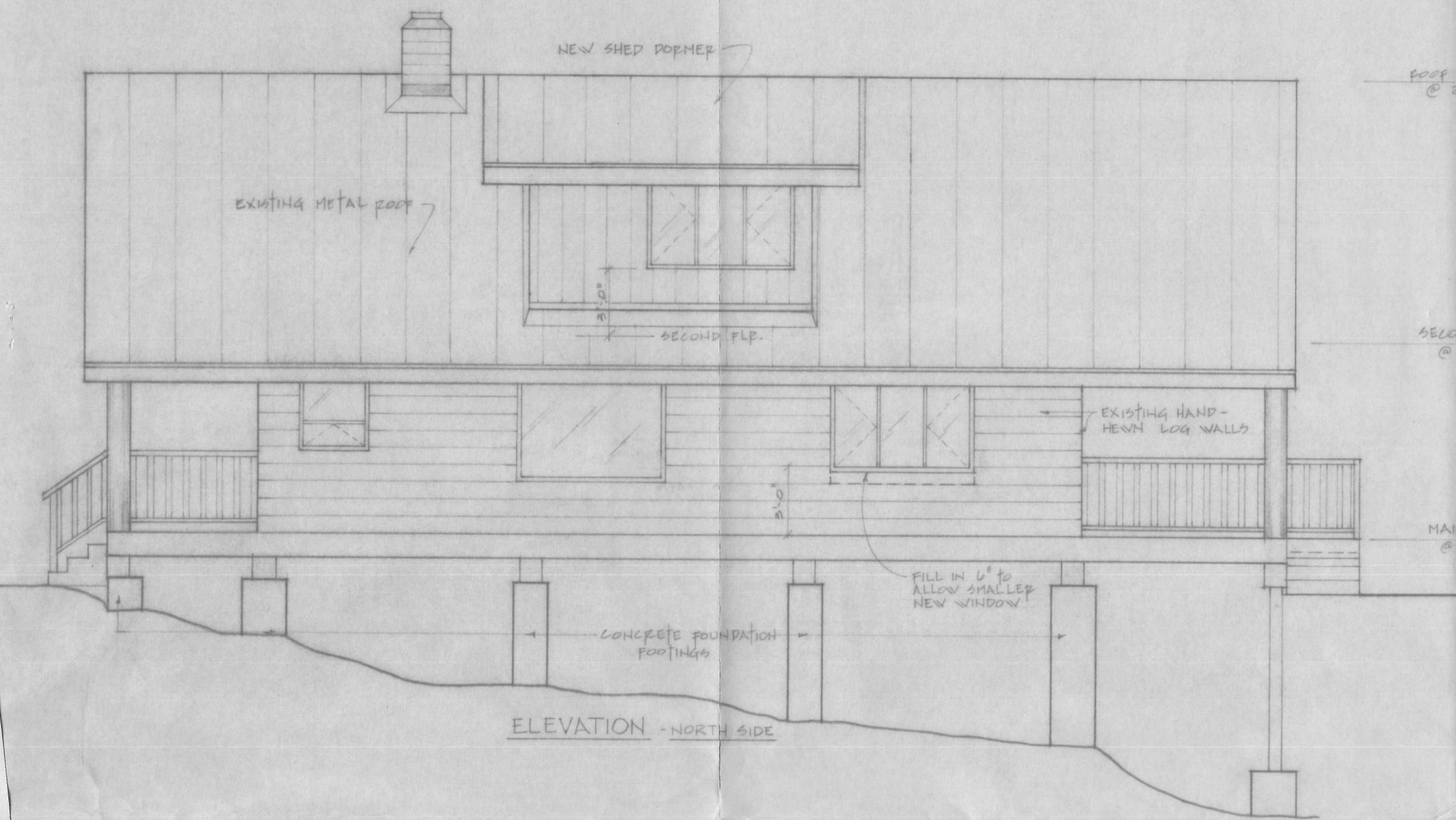


S2 SECTION  
1/4" = 1'-0"

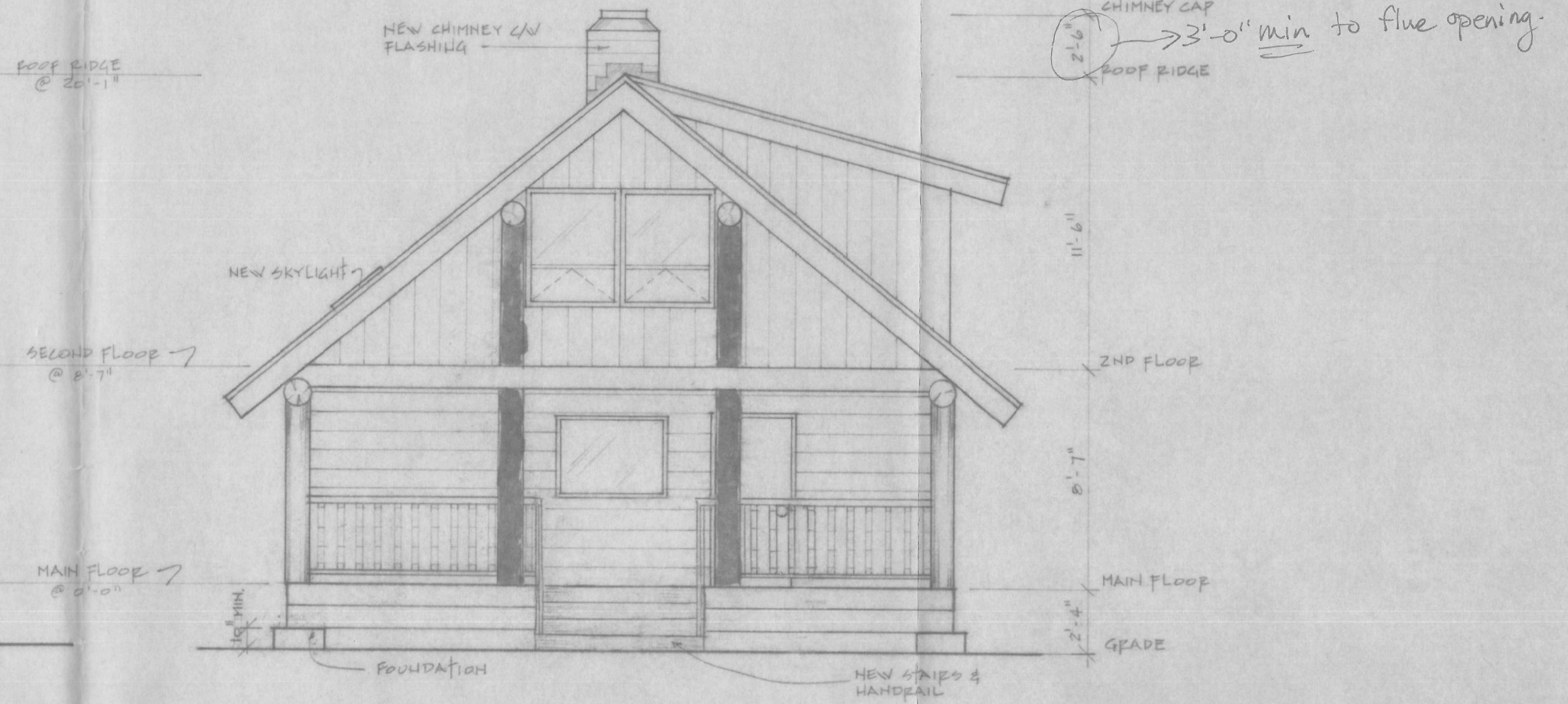
Insulated 'T' req'd. if metal chimney need.

PLANS ACCEPTED

RENOVATION FOR THE BUNBURY RESIDENCE  
SHEET 2 OF 3

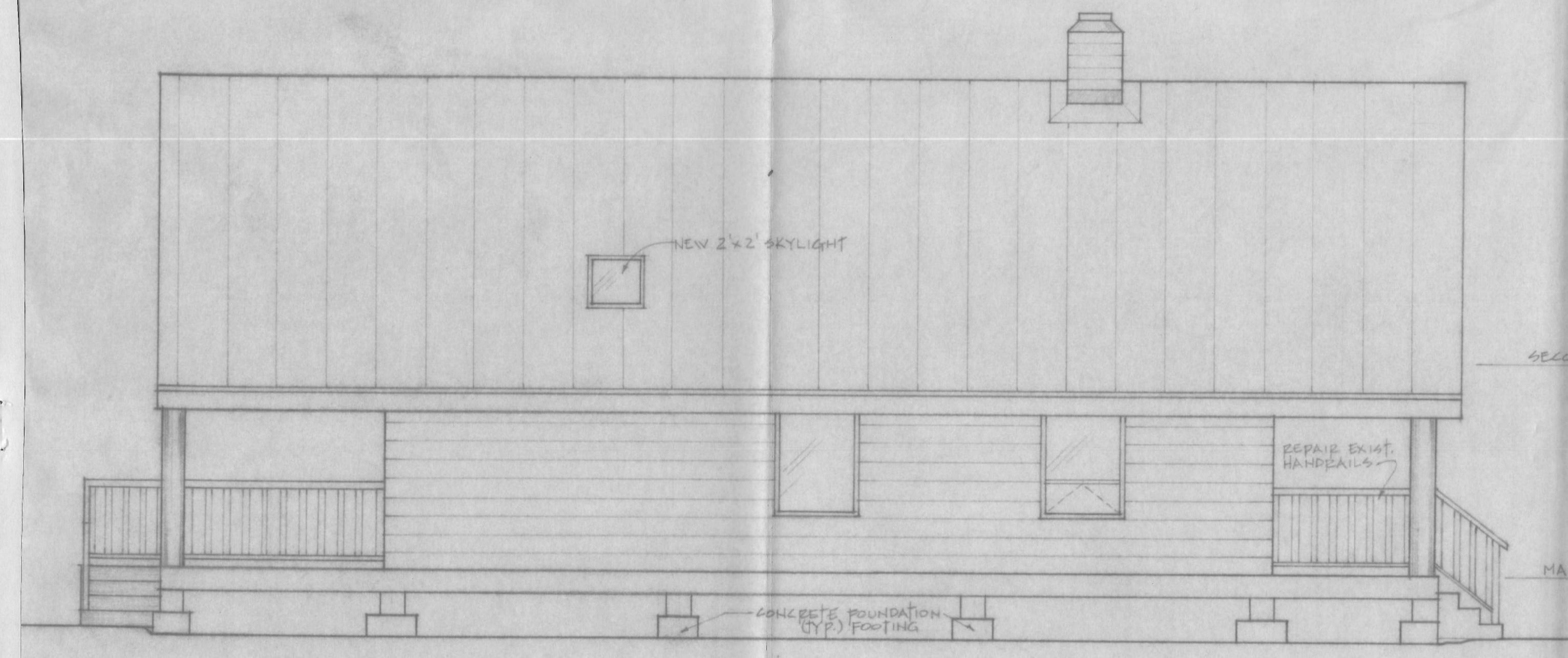


ELEVATION - NORTH SIDE

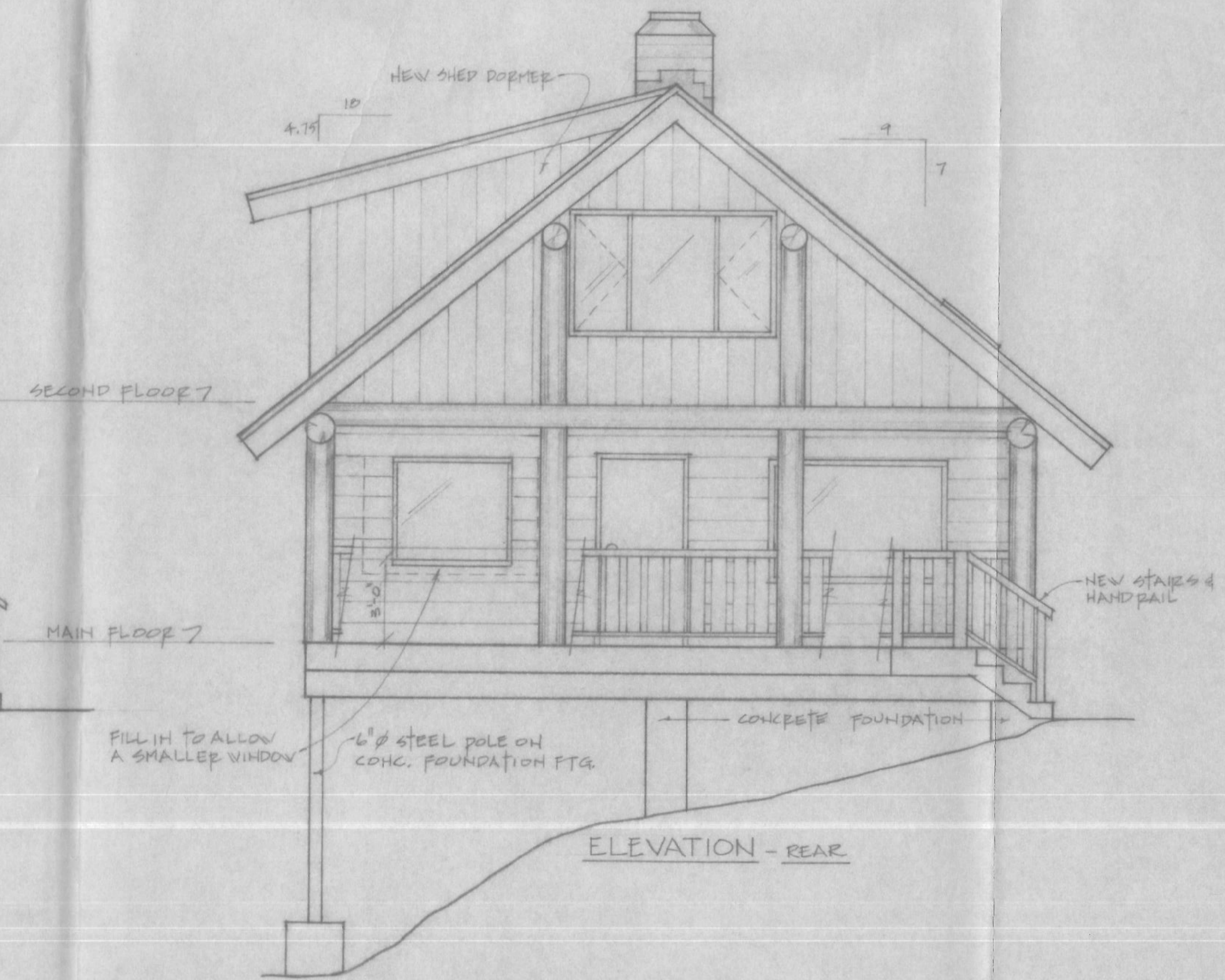


ELEVATION - FRONT

2505  
GONDOLA  
WAY



ELEVATION - SOUTH SIDE



ELEVATION - REAR

PLANS  
ACCEPTED

RENOVATION OF THE  
BUNBURY RESIDENCE  
DATE: JULY 16/87  
SHEET 3 OF 3

FIREPLACE AND CHIMNEY PERMIT

Persuant to Resort Municipality of Whistler Fire Prevention  
Bylaw No. 166, 1980 Subsection 8.1.3

Date: NOV 18/87

PERMISSION IS HEREBY GRANTED TO:

Name A.C. BUNBURY

Address 2501 GONDOLA WAY

Telephone No. 932-5953 or 932-3770

Co. Name \_\_\_\_\_

Address \_\_\_\_\_

To install a Fisher airtight

PURSUANT TO THE FOLLOWING REGULATIONS \_\_\_\_\_

and subject to the inspection and approval of the Authority having  
jurisdiction.

The permittee must notify the Authority having jurisdiction that  
the above mentioned is ready for inspection and of any changes  
and/or alterations made thereto.

This permit may be revoked at any time by the Authority having  
jurisdiction.

[Signature]  
Issuing Officer

I have read and understand  
the conditions of this permit.

Permittee: [Signature]  
(signature)

Inspected: 24 Nov 87 [Signature]  
Date Initials

Approved: 24 Nov 87 [Signature]  
Date Initials



UNITED STATES DEPARTMENT OF JUSTICE

INVESTIGATION OF THE ACTS OF VIOLENCE COMMITTED BY THE ORGANIZATION OF BLACK PANTHER PARTY

MEMORANDUM FOR THE DIRECTOR

FROM: SAC, NEW YORK (100-100000)

SUBJECT: BLACK PANTHER PARTY

RE: [Illegible]

[Illegible text]

[Illegible text]

[Illegible text]

[Illegible signature]

# INSPECTION REPORT



RESORT MUNICIPALITY  
OF WHISTLER

P.O. BOX 35, WHISTLER, B.C.  
V0N 1B0

**Whistler 932-5535**

PERMIT NO. \_\_\_\_\_

MON.  TUES.  WED.  THURS.  FRI.  SAT.  SUN.   
 A.M.  P.M.

INSPECTION DATE 24 Nov 87

ADDRESS 2501 GONDOLA WAY

CONTRACTOR \_\_\_\_\_

OWNER BUNBURY

1.  PARKING FOR \_\_\_\_\_ VEHICLES RE-INSPECTION  RE-FEE  \$ \_\_\_\_\_
2.  SEWER LINE \_\_\_\_\_
3.  WATER LINE \_\_\_\_\_
4.  EXCAVATION \_\_\_\_\_
5.  FORMS \_\_\_\_\_
6.  DAMPPROOF DRAIN TILE \_\_\_\_\_
7.  PLUMBING UNDERGROUND \_\_\_\_\_
8.  SLAB PREPARATION \_\_\_\_\_
9.  PLUMBING ROUGH-IN \_\_\_\_\_
10.  FIREPLACE CHIMNEY ROUGH-IN \_\_\_\_\_
11.  BACK FILL \_\_\_\_\_
12.  GAS/OIL \_\_\_\_\_
13.  DESIGN REVIEW \_\_\_\_\_
14.  FRAMING \_\_\_\_\_
15.  INSULATION VAPOUR BARRIER \_\_\_\_\_
16.  PLUMBING - FINAL \_\_\_\_\_
17.  FIREPLACE - FINAL \_\_\_\_\_
18.  OCCUPANCY - FINAL \_\_\_\_\_
19.  SITE CLEAN - UP \_\_\_\_\_
20.  PUBLIC WORKS FINAL \_\_\_\_\_

*FILE*  
*[Handwritten signature]*

ACCEPT  REJECT  NOT COMPLETE

24 Nov 87  
DATE

[Handwritten Signature]  
INSPECTOR

INSPECTION REPORT



REPORT NUMBER  
OF WHISTLER  
R.O. BOARD WHISTLER B.O.  
VOL 180

Whistler 835-5885

REPORTING

MOBILE UNIT WITH TANKS TO SAT. 1974  
11 11 11 11 11 11 11 11 11 11

DATE

INSPECTION DATE

ADDRESS 5301 GARDNER

CONTRACTOR

OWNER

IN PROTECTION?  HAZARD

- 1. DEPARTMENT
- 2. INSPECTION
- 3. WATER
- 4. ELECTRICAL
- 5. GAS
- 6. MECHANICAL
- 7. PLUMBING
- 8. ROOFING
- 9. FOUNDATION
- 10. INTERIOR
- 11. EXTERIOR
- 12. GENERAL
- 13. DEFENSE
- 14. FIRE
- 15. SAFETY
- 16. OTHER

NOT COMPLETE

REJECT

ACCEPT

*[Handwritten signatures and notes]*

# INSPECTION REPORT



RESORT MUNICIPALITY  
OF WHISTLER

P.O. BOX 35, WHISTLER, B.C.  
V0N 1B0

**Whistler 932-5535**

PERMIT NO. FIREPLACE - V

MON. TUES. WED. THURS. FRI. SAT. SUN.

A.M.  P.M.

INSPECTION DATE Nov. 4/87

ADDRESS 2501 GONDOLA WAY

CONTRACTOR \_\_\_\_\_

OWNER BUNBURY

1.  PARKING FOR \_\_\_\_\_ VEHICLES RE-INSPECTION  RE-FEE  \$ \_\_\_\_\_
2.  SEWER LINE
3.  WATER LINE
4.  EXCAVATION
5.  FORMS
6.  DAMPPROOF DRAIN TILE
7.  PLUMBING UNDERGROUND
8.  SLAB PREPARATION
9.  PLUMBING ROUGH-IN
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14.  FRAMING
15.  INSULATION VAPOUR BARRIER
16.  PLUMBING - FINAL
17.  FIREPLACE - FINAL
18.  OCCUPANCY - FINAL
19.  SITE CLEAN - UP
20.  PUBLIC WORKS FINAL

BASEMENT STOVE  
- RAISE SHIELD TO ALLOW CIRCULATION OF AIR - 2" SPACE  
- MOUNT WONDERBOARD TO COVER UNDER WINDOW  
- FLOOR PROTECTION INADEQUATE  
HEAT SHIELD REQ'D FOR 'C' VENT  
- UPSTAIRS STOVE - HEAT SHIELD REQ'D BEHIND STOVE

ACCEPT

REJECT

NOT COMPLETE

11/04/87

Kat Sullivan

DATE

INSPECTOR

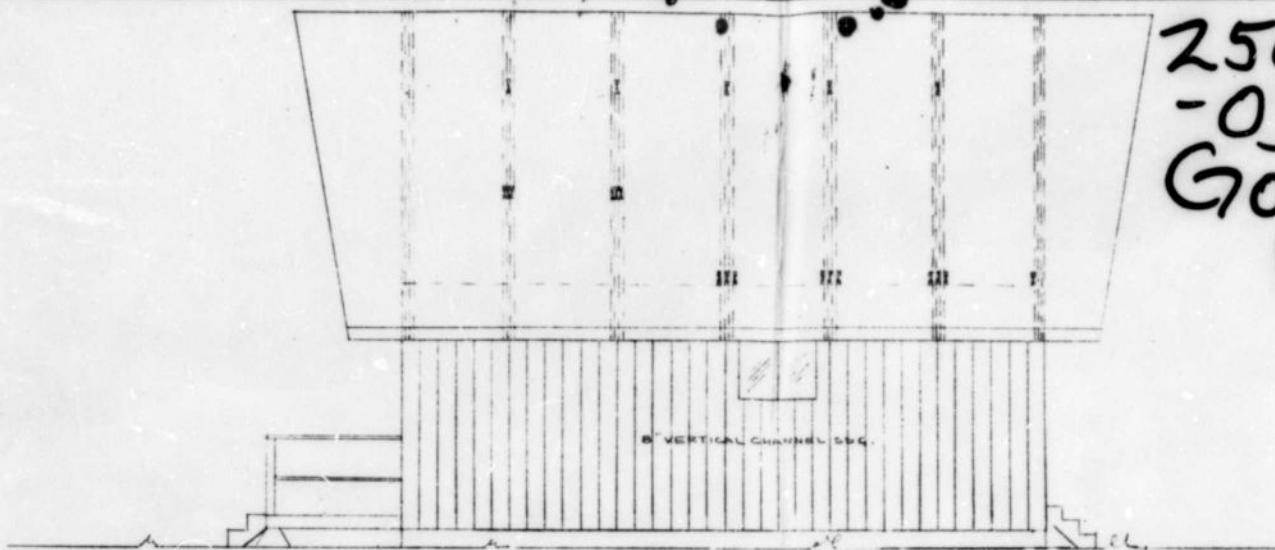


2501-05  
 -09  
 GONDOLA  
 WAY

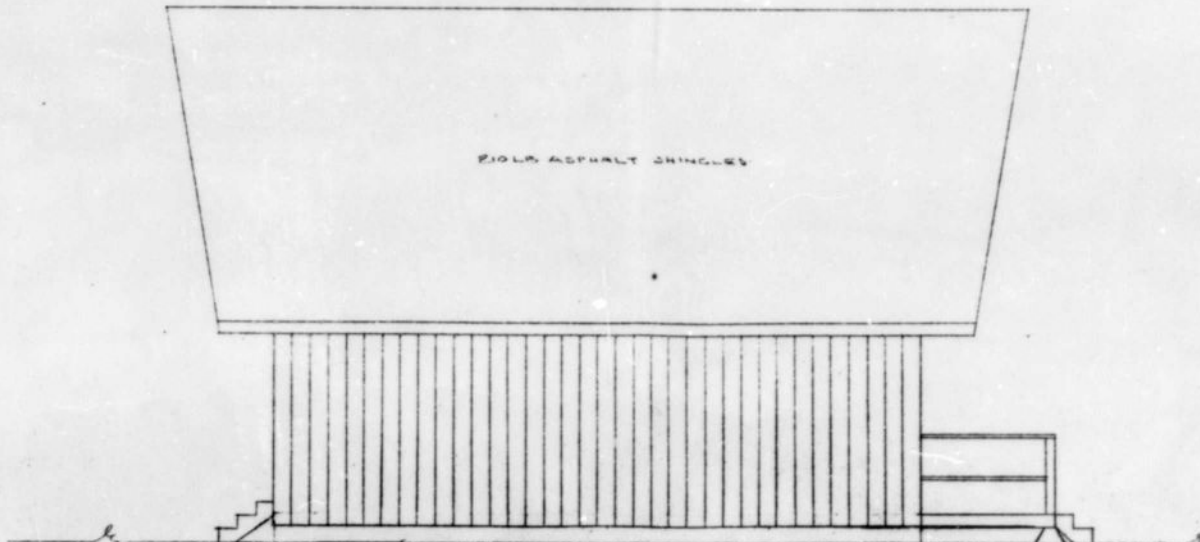


HOMES

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RIGHT ELEVATION



LEFT ELEVATION

CARIBALDI

REVISIONS		DATE	BY	NO.	DESCRIPTION

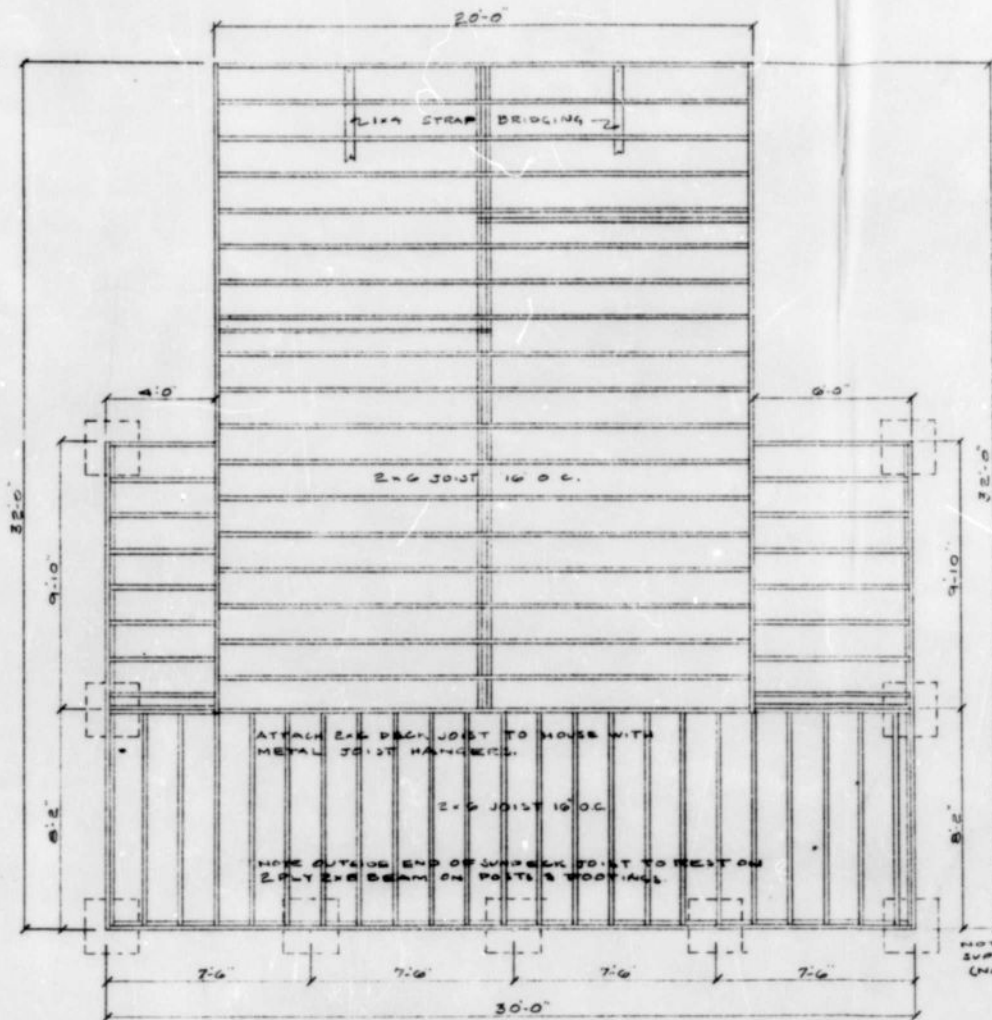
Mr. NAME	PLAN
ADDRESS	2
	SERIES

# 2501-05-09

## GONDOLA WAY



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**FLOOR & SUNDECK JOIST LAYOUT**

NOTE: POSTS & FOOTINGS TO BE SUPPLIED BY CUSTOMER (NOT INCLUDED IN PACKAGE).

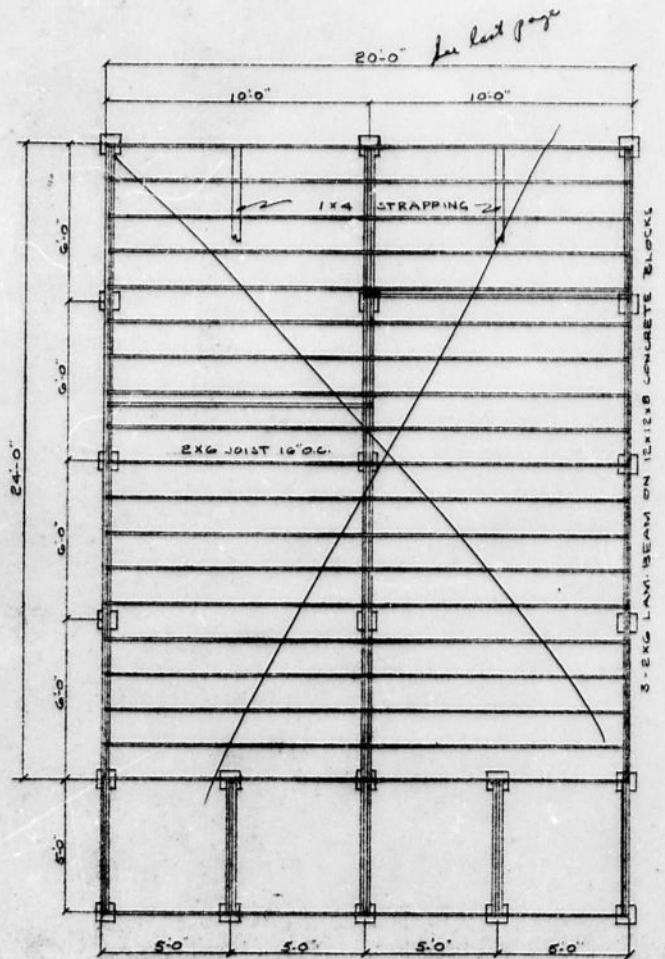
REVISIONS		DATE	BY	NO.	DISCUSSION	REV. NAME	PLAN

NAME: C. SUNBURY  
ADDRESS:  
SERIES:

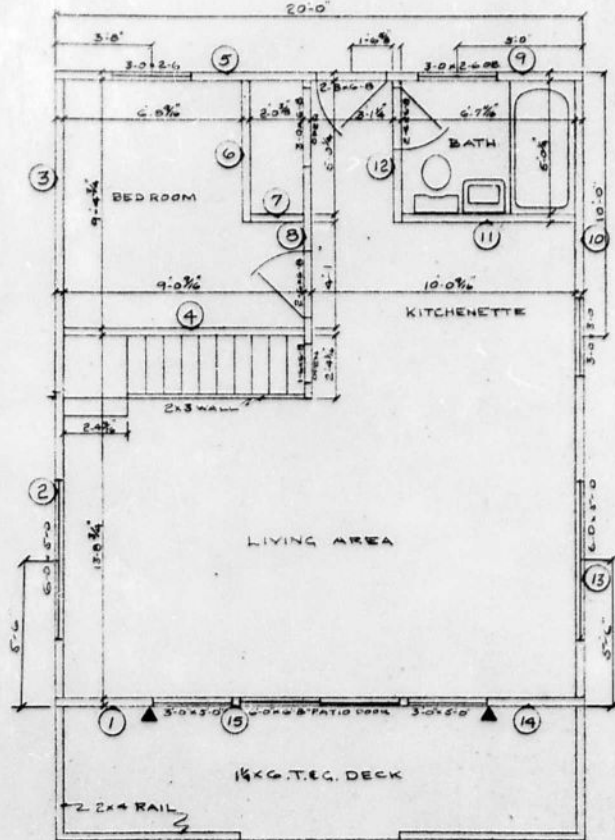
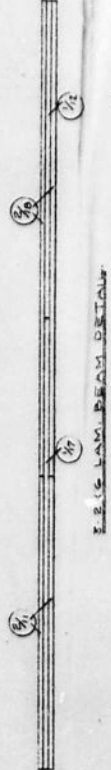
2501-05-09  
GONDOLAWY



BEAVER HOMES  
The design and construction depicted in this property plan shall be subject to the approval of the local building department.



FOUNDATION PLAN WITH Poured FOOTINGS.



FLOOR PLAN & PANEL LAYOUT

DATE	BY	NO.	DESCRIPTION	REV.	NAME	ADDRESS
				3		

CARIBALDI



2501-05-09  
 GONDOLA  
 WAY



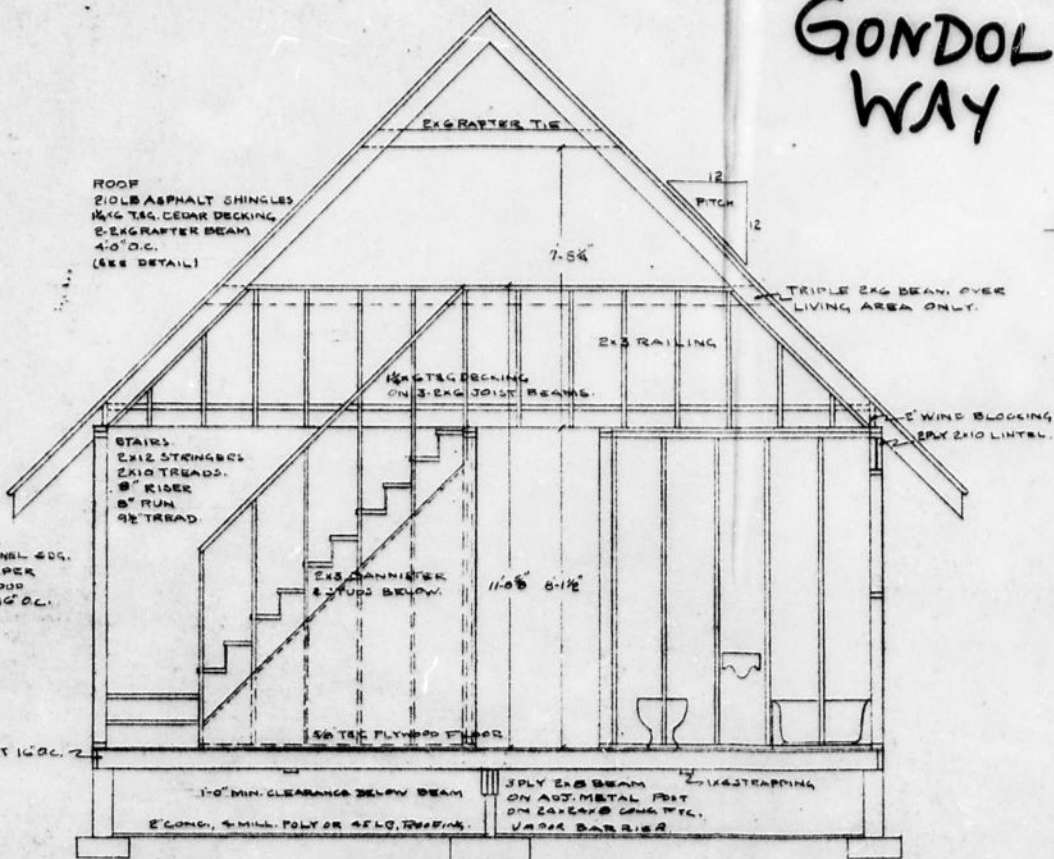
EXTEND CENTER  
 LAM. OF BEAM  
 BETWEEN RAFTERS



HOMES

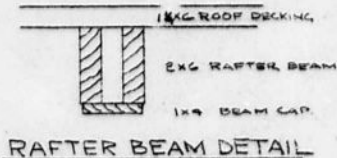
BEAVER HOMES, INC. 1100 N. 10TH ST. SUITE 100  
 DENVER, CO 80202  
 ALL RIGHTS RESERVED. NO PART OF THIS DOCUMENT MAY BE REPRODUCED WITHOUT WRITTEN PERMISSION.

BEAM OVER LIVING AREA

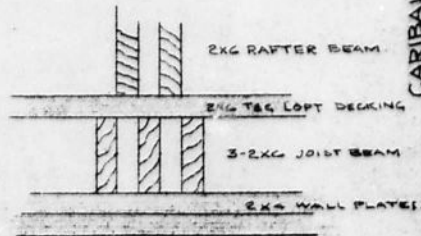


CROSS SECTION

SCALE 3/8" = 1'-0"



RAFTER BEAM DETAIL



JOIST BEAM DETAIL

CARIBALDI

4

PLAN

SERIES

REV. NAME

ADDRESS

REVISIONS

DATE

DESCRIPTION

BY

NO.

DATE

DATE

NO.

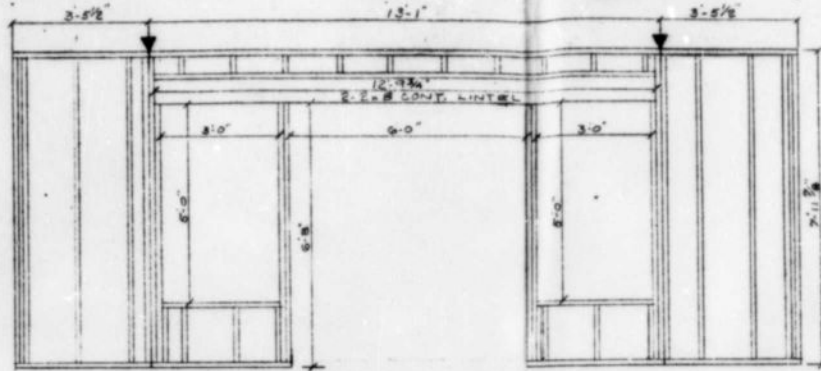
DATE

DATE

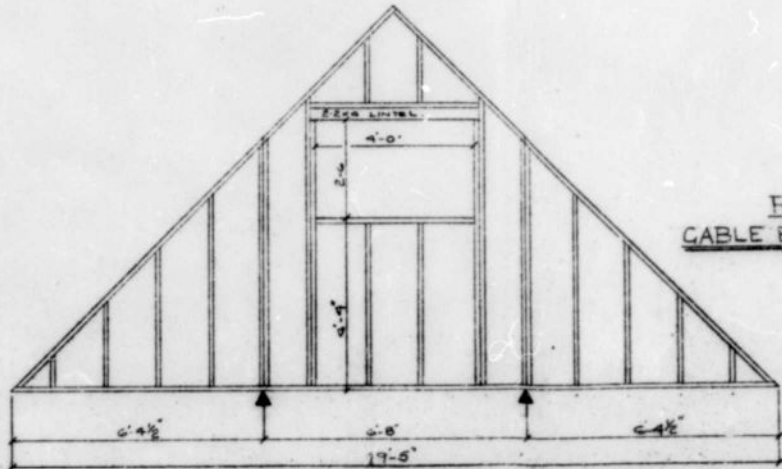
NO.

DATE

2501-05-09  
 GONDOLA  
 WAY



FRONT WALL DETAIL



REAR  
 CABLE END DETAIL SCALE 3/8"=1'-0"



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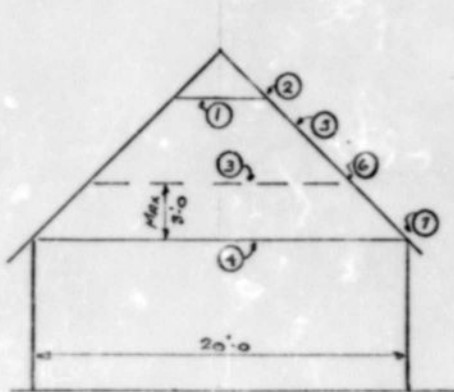
CARIBALDI

DATE BY NO.	REVISIONS	PLAN	5
		SERIES	
		NAME	
		ADDRESS	

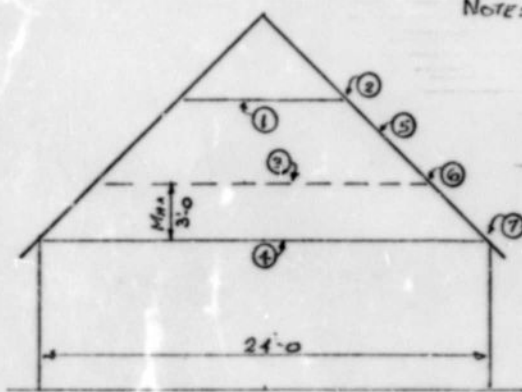
## BEAVER HOMES

### STRUCTURAL COMPONENT FOR VARIOUS SNOW LOADS.

SNOW LOAD		100 PSF	120 PSF	140 PSF	160 PSF	180 PSF
<b>GARIBALDI BLDG. 20' WIDE</b>						
COMPONENT	① RAFTER TIE	1-2" x 6" ST. GR.	1-2" x 6" ST. GR.	1-2" x 6" ST. GR.	1-2" x 6" ST. GR.	1-2" x 6" ST. GR.
	② CONNECTION TO RAFTERS	1-1/2" BOLT	1-1/2" BOLT	1-1/2" BOLT	1-1/2" BOLT	1-1/2" BOLT
	③ TIES LIVING RM.	3-2" x 6" ST. GR.	3-2" x 6" ST. GR.	3-2" x 6" ST. GR.	3-2" x 6" CONST. GR.	3-2" x 6" CONST. GR.
	④ JOISTS FOR BED RM.	3-2" x 6" ST. GR.	3-2" x 6" ST. GR.	3-2" x 6" ST. GR.	3-2" x 6" CONST. GR.	3-2" x 6" CONST. GR.
	⑤ RAFTERS	2-2" x 6" CONST. GR.	2-2" x 8" ST. GR.	2-2" x 8" ST. GR.	2-2" x 8" CONST. GR.	2-2" x 8" CONST. GR.
	⑥ CORR. TIE LIV. RM. TO BED	2-3/8" BOLTS	2-3/4" BOLTS	2-1/2" BOLTS	2-1/2" BOLTS	2-1/2" BOLTS
	⑦ CORR. JOISTS TO RAFTER	1-3/8" BOLT	1-1/4" BOLT	2-3/8" BOLTS	2-3/8" BOLTS	2-3/4" BOLTS
<b>REVELSTONE BLDG. 24' WIDE</b>						
COMPONENT	① RAFTER TIES	1-2" x 6" ST. GR.	1-2" x 6" ST. GR.	1-2" x 6" ST. GR.	1-2" x 6" ST. GR.	1-2" x 6" ST. GR.
	② CONNECTION TO RAFTERS	1-1/2" BOLT	1-1/2" BOLT	1-1/2" BOLT	1-1/2" BOLT	1-1/2" BOLT
	③ TIES LIVING RM.	3-2" x 6" ST. GR.	3-2" x 6" ST. GR.	3-2" x 6" ST. GR.	3-2" x 6" CONST. GR.	3-2" x 6" CONST. GR.
	④ JOISTS FOR BED RM.	3-2" x 6" ST. GR.	3-2" x 6" ST. GR.	3-2" x 6" ST. GR.	3-2" x 6" CONST. GR.	3-2" x 6" CONST. GR.
	⑤ RAFTERS	2-2" x 6" CONST. GR.	2-2" x 8" ST. GR.	2-2" x 8" ST. GR.	2-2" x 8" CONST. GR.	2-2" x 8" CONST. GR.
	⑥ CORR. TIE LIV. RM. TO BED	2-3/8" BOLTS	2-1/4" BOLTS	2-7/8" BOLTS	2-7/8" BOLTS	3-1/4" BOLTS
	⑦ CORR. JOISTS TO RAFTER	1-3/4" BOLT	1-7/8" BOLT	2-5/8" BOLTS	2-3/4" BOLTS	2-3/4" BOLTS



GARIBALDI BLDG



REVELSTONE BLDG

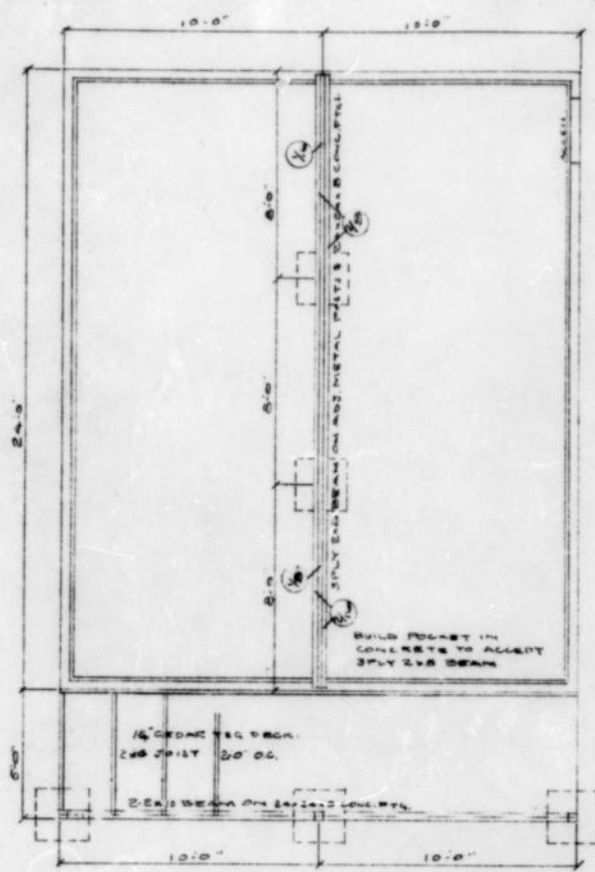
NOTE:- ST. GR MEANS STANDARD GRADE  
 CONST. GR MEANS CONSTRUCTION GRADE.  
 ALL TIES & JOISTS TO CONNECT OUTSIDE TO  
 OUTSIDE OF BUILDING.

TIES IN LIVING ROOM TO BE WELDED,  
 DESIGNED TO  
 NATIONAL BUILDING  
 CODE 1960.

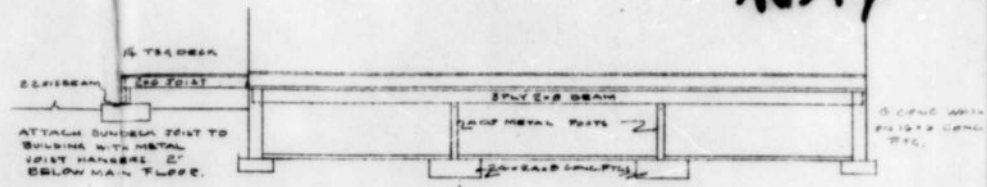
SEPT. 8-1970  
 E. S. Henriksen



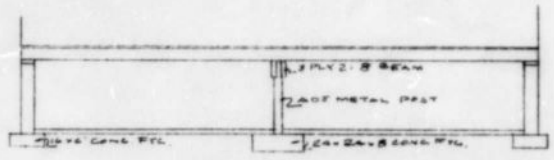
2501-09-105V GONDOLA WAY



FOUNDATION PLAN



SIDE SECTION



END SECTION

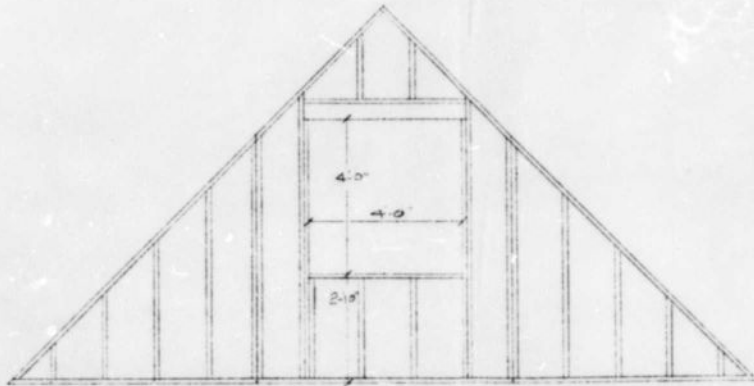
PERIMETER CONCRETE FOUNDATION PLAN FOR GARIBOLDI CABIN

SCALE 1/2"=1'-0"

2501-05-09  
GONDOLA  
WAY



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FRONT GABLE DETAIL SCALE 3/8" = 1'-0"

CARIBALDI

REVISIONS		Mr. NAME	PLAN
DATE BY	NO.	DESCRIPTION	SERIES
			G

Squamish-Lillooet Regional District

Office of the Building Inspector

Permit # No 394

Application #

Date SEPT 10 1972

Permit Fee 15.00

Rec. 429

Whistler Above Highway  
2501-05-09 Gondola Way

FINALIZED  
JUNE 10/74

Permission is hereby granted to:

(Name) ALMAIA VIEW ENTERPRISES LTD  
ALEXANDER C. FERRARY

(Address) 343 N 34TH ST

VANCOUVER, B.C. Phone Number

who has submitted an application to BUILD A RESIDENCE

zoned as RESIDENTIAL 1 to be used for

SINGLE FAMILY DWELLING RESIDENCE ONLY

located on the particular parcel of land known as (legal description) LOT 2291 GP 1 NMB

Owners Name SAME AS ABOVE

Address Phone Number

This permit is issued in accordance with the provisions of the By-Laws of the Squamish-Lillooet Regional District regulating the Construction of and/or use of Buildings and/or Land within the Regional District, and shall be subject to cancellation and/or penalties at any time for failure to comply there with.

The granting of this permit does not release the applicant or owner of the responsibility to comply with other authorities having jurisdiction.

Signed [Signature] Building Inspector

for Squamish-Lillooet Regional District.

No 394

# SQUAMISH-LILLOOET REGIONAL DISTRICT

Office of the Building Inspector

Permit # **No 394**  
Application # **1-73**  
Date **1973, 12, 1973**  
Permit Fee **10.00**  
**Rate 400**

Permission is hereby granted to:

(Name) **ALEXANDER E. BROWN**

(Address) **1000-1000 343 N 20TH ST**

**V. VANCOUVER, B.C.** Phone Number .....

who has submitted an application to **WILLIAM A. BROWN**

zoned as **RESIDENTIAL 1** to be used for

**SINGLE FAMILY DETACHED RESIDENCE ONLY**

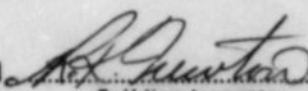
located on the particular parcel of land known as (legal description) **LOT 2002 OF 1-73**

Owners Name **SAPE AS ABOVE**

Address ..... Phone Number .....

This permit is issued in accordance with the provisions of the By-Laws of the Squamish-Lillooet Regional District regulating the Construction of and/or use of Buildings and/or Land within the Regional District, and shall be subject to cancellation and/or penalties at any time for failure to comply there with.

The granting of this permit does not release the applicant or owner of the responsibility to comply with other authorities having jurisdiction.

Signed   
Building Inspector  
for Squamish-Lillooet Regional District.

**No 394**

SQUAMISH-LILLOOET REGIONAL DISTRICT

Pemberton, B.C.

Telephone No. 988 8907

Application for a Building Permit

Application No. \_\_\_\_\_

I (we) hereby apply for permission to construct, use and maintain buildings or structures in accordance with the particular plans \* and specifications submitted here with in duplicate pursuant to the applicable by-laws of the Squamish-Lillooet Regional District.

It is understood that the completion of this form, constitutes an application only and that the works applied for will not be commenced until a covering permit has been issued.

2501-05-09 Gondola Way

Owners' Name A.C. BUNBURY Address 543 W 28TH ST.  
Phone 988-8907

Architect or Engineers Name See Certificate Attached Address to Plans (Brewer House)

Contractors Name A.C. BUNBURY Address Same as Phone above

Legal Description of property where building is to be located Lot 2291 GPI NWD  
Assessment Folio No. \_\_\_\_\_

Is your property zoned? \_\_\_\_\_ What Zone? \_\_\_\_\_

Dimensions of building or structure length 24' Width 20' Height 16' Area 680 sq ft  
Dimensions of Lot Length \_\_\_\_\_ Width \_\_\_\_\_ % of lot area to be covered by build. \_\_\_\_\_

10 ACRE SITE Area \_\_\_\_\_ Front Yard Set Back \_\_\_\_\_ Rear Yard Set Back \_\_\_\_\_  
Side Yard 1 Set Back \_\_\_\_\_ Side Yard 2 Set Back \_\_\_\_\_

Soil Conditions: Sand \_\_\_\_\_ Loam \_\_\_\_\_ Gravel \_\_\_\_\_ Clay \_\_\_\_\_ Bed Rock

Class of work: New  Repair \_\_\_\_\_ Addition \_\_\_\_\_ Moving \_\_\_\_\_

What is the building or structure to be used for? \_\_\_\_\_

If you have building or structures on this site now, what are they used for? \_\_\_\_\_

Complete the following structural information:

Structural Members

	Size	Span	Spacing	Species	Grade
Floor Joist First Floor	<u>2"x8"</u>	<u>10'</u>	<u>16"</u>	<u>FIR</u>	<u>STANDARD</u>
Floor Joist 2nd Floor	<u>3"x2x6</u>		<u>48"</u>		
Floor Joist 3rd & Additional Floors					
Ceiling Joist	<u>3"x2x6"</u>	<u>Beams</u>			
Rafters					
Studs	<u>2"x4"</u>		<u>16"</u>		
Beams	<u>2"x6"</u>				
Headers or Lintels	<u>2"x6"</u>				
Columns or Posts	<u>8"x8" size</u>				

Foundations: Type \_\_\_\_\_ Height \_\_\_\_\_ Width or Thickness \_\_\_\_\_ Reinforced

Footings: Type conc. Height 12" MIN Width or Thickness 24"x24" Reinforced

Basement: Full \_\_\_\_\_ Partial \_\_\_\_\_ None  Floor 5

Exterior Sheathing 5/16 Ply Exterior Finish Cedar Siding Interior Sheathing WOOD PANELS

Interior Finish \_\_\_\_\_ Roof Sheathing 1 Roof Covering METAL

Chimney: No. of 1 Kind of Brick \_\_\_\_\_ Masonry \_\_\_\_\_ Metal

Fire Place: No. of none Kind of Material \_\_\_\_\_ Type of Heating POLYMER

Plumbing: No. of Sinks 1 No. of Toilets 1 No. of Basins 1

No. of BathTubs 1 No. of Showers \_\_\_\_\_ No. of Laundry Tubs \_\_\_\_\_

No. of Urinals \_\_\_\_\_ Other Fixtures \_\_\_\_\_ Sauna \_\_\_\_\_

Electricity: \_\_\_\_\_ Have you obtained the necessary permit? No

Septic Tank:  Have you obtained the necessary permit? YES

If your proposed building or structures is located within a zoned area, a development permit may be required - refer to the Zoning By-Law.

In some area which are zoned a development permit may be required. Have you checked the zoning requirements of the area where you propose to build? This does not apply to those who desire to build a single family residence only. This does not apply in those areas which are not zoned.

Have you enclosed the required plans with this application?\*

Have the necessary plans been filed with and permit been obtained from the proper authorities?+

\* See note number one on reverse side of application form.

+ See note number two on reverse side of application form.

Estimated Cost (Total Cost).....

Materials 5000.00

Labour 1000.00

Contract Price 6000.00

Date of Application SEPT 5/72

Signature of Owner or Agent

A.C. Bunbury

SEP 11 1972



SQUAMISH-LILLOOET REGIONAL DISTRICT

Box 219,  
PEMBERTON, B. C.

BUILDING INSPECTION DEPARTMENT

DATE Sept. 8, 1972  
Re: APPLICATION NO. \_\_\_\_\_

NAME AND ADDRESS

1. C. Rumberg,  
299 - 299 Ave. S.W.  
South Fork

LEGAL DESCRIPTION

Dear Sir or Madam:

We are using this form letter in order to speed up the granting of Building Permits. Would you please take note of those items, or provide the Building Inspector with those items which are marked with an (X) in the margin.

PLEASE TAKE NOTE:

- (  ) The National Building Code of Canada (1965) is the Building Code which is used within this Regional District.
- (     ) The Building Bylaw is - Bylaw # 6 of the Squamish Lillooet Regional District.
- (     ) Building Application is enclosed.
- (     ) The Zoning Bylaw which is enforced in your area is Bylaw No. \_\_\_\_\_
- (     ) Your Property is Zoned \_\_\_\_\_
- (     ) Please find Zoning Information and/or Maps enclosed.
- (     ) Other Information \_\_\_\_\_

PLEASE PROVIDE THE FOLLOWING ITEMS:

- (     ) Correct Legal Description of your property.
- (     ) Directions as to how to locate your property (road directions.)
- (  ) Fill out the Building Permit Application form and supply the required plans.
- (  ) Plot Plans
- (     ) Building Permit Fee of \$ \_\_\_\_\_.
- (     ) A certificate or stamped and signed plans of an Architect or Structural Engineer that the building's structure and supporting members are designed to carry the expected snow load of your area. (The ground snow load of your area is estimated to be \_\_\_\_\_ pounds per square foot.)
- (  ) Certificate of Approval from your Health Inspector approving the design of the Septic Tank and Disposal Field System, or other approved means of Sewage Disposal.
- (  ) Approval of Plans by the Provincial Fire Marshall re. regulations pursuant to the Fire Marshalls' Act.
- (     ) Approval of other Authorities having Jurisdiction, \_\_\_\_\_
- (     ) Other \_\_\_\_\_

We will be pleased to answer any inquiries regarding your proposed buildings, either by letter or by telephone (REGIONAL DISTRICT TELEPHONE NO. 894-6421)

We will be pleased to issue a building permit as soon as we are satisfied that the requirements of the Bylaws will be met.

Yours Truly

*R.K. Newton*

R.K. Newton  
Chief Building Inspector

*sch*  
*Sept 8/72*

August 31st, 1972.

Squamish-Lillooet Regional District,  
P. O. Box 219,  
Pemberton, B.C.

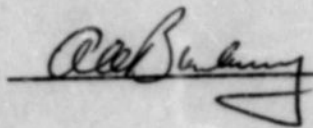
Attention: Mr. Newton  
Building Inspector

Dear Sir:

Re: D.L. 2291 Group 1, NWD  
Alpha View Enterprises Ltd.  
A.C. Bunbury's Cabin

Please find herewith two sets of certified plans for the above noted cabin, together with a cheque for \$18.00, submitted for your approval for a building permit.

Yours truly,



ACE/jm

Telephone - 687-6841

SEP 1 1972